



# Historic District Design Guidelines

# City of Washington, Georgia

## Historic District Design Guidelines

Adopted by Mayor and Council  
14 June 1999

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ACKNOWLEDGEMENTS

Special thanks to Sandy White, Pratt Cassity and John A. Kissane

## Using these Guidelines

The Washington Design Guidelines are divided into six sections:

### I. Introduction

### II. Guidelines for Alterations to Buildings

### III. Guidelines for New Construction and Additions

### IV. Guidelines for Site Features and District Setting

### V. Guidelines for Demolition and Relocation

### VI. Appendixes

Owners should read the introduction before beginning any alterations or new construction in order to gain an understanding of the history and physical attributes of the district. This section will also help owners determine whether or not they need a Certificate of Appropriateness from the Washington Historic Preservation Commission before beginning work on a building.

The remaining section, excepting the appendixes are intended to give owners specific guidelines for specific projects such as alterations, new construction, landscape design, and demolition. Each section includes a description, a list of maintenance suggestions, as well as a list of design guidelines for the individual features of residential, commercial, and institutional buildings.

The last section contains the appendixes. Owners can supplement the information given in the guidelines by using the list of outside resources and suggested readings. The glossary will also increase understanding of terminology used in the guidelines. The Washington Historic Preservation Commission can help you with many technical questions.

**NOTE: Property owners doing work that involves signage or landscape should consult sections of the Washington City Ordinance pertinent to these areas.**

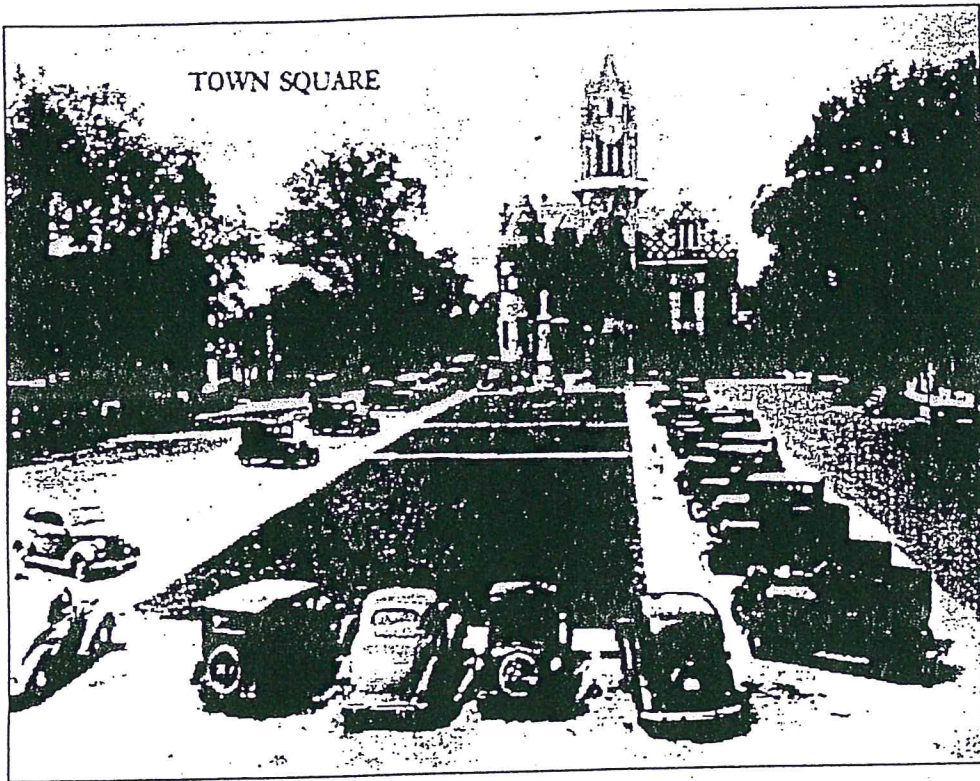
Chapter 58--Signs

Chapter 86--Vegetation

## CONTENTS

<b>I. Introduction</b>	1
A. Map of Historic District	2
B. History and Description of Historic District	3
C. Historic Preservation Commission	4
D. Certificates of Appropriateness Process	5
E. Certificates of Appropriateness	6
F. Repairs and Minor Works	6
G. Secretary of Interior's Standards	7
<b>II. Alterations to Buildings</b>	8
A. Roofs	9
B. Exterior Walls and Trim	11
C. Windows and Doors	14
D. Foundations	15
E. Porches, Entrances and Balconies	18
F. Outbuildings	20
G. Masonry	22
H. Wood	24
I. Architectural Metals	26
J. Paint	28
K. Life Safety and Accessibility	30
L. Utilities and Mechanical Systems	32
M. Synthetic Siding	34
<b>III. New Construction and Additions</b>	36
A. New Construction in the Historic District	37
B. Additions to Historic Buildings	39
C. New Construction and Additions in the Commercial District	41
<b>IV. Site Features and District Setting</b>	43
A. Signs	44
B. Lighting	46
C. Fences and Walls	48
D. Driveways, Garages, Carports, and Off-street Parking	51
E. Landscape	53
F. Archaeology	55
<b>V. Demolition or Relocation</b>	57
A. Demolition of Buildings	58
B. Relocation of Buildings	60
<b>VI. Appedixes</b>	62
A. Samples Forms	63
B. Suggested Readings	64
C. Resources for Technical Information	65
D. Glossary	66

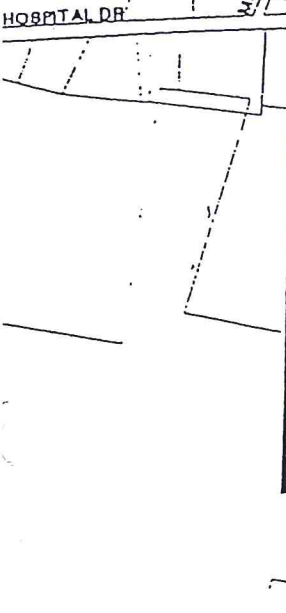
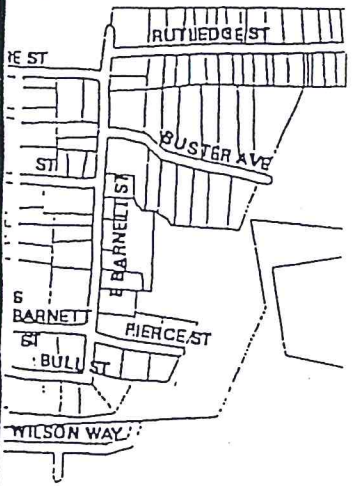
# I. INTRODUCTION



# A. MAP OF WASHINGTON LOCAL HISTORIC DISTRICT

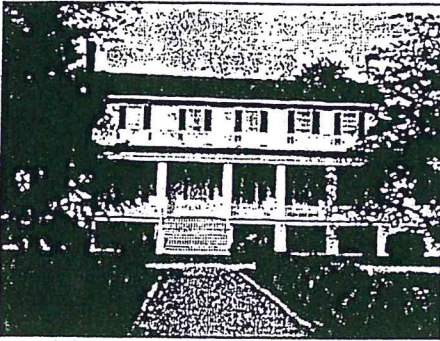


**Washington Local  
Historic District**  
 Washington, Wilkes County, Georgia  
 [Scale: \_\_\_\_\_ = 500' North at Top]  
 ■■■■■■ District Boundary  
 Spring 1999

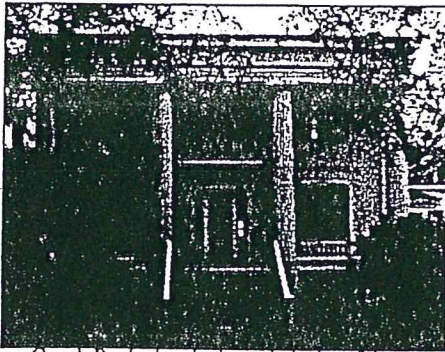


BRIGHTWOOD LANE     AUTUMN

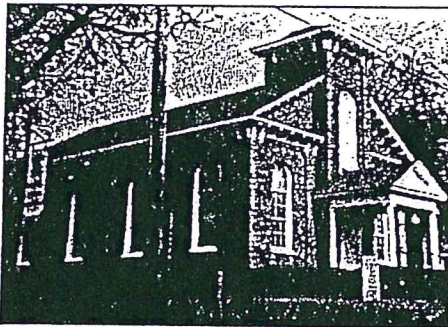
## B. History and Description of Historic District



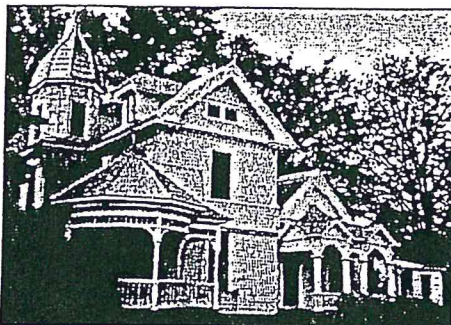
Federal style: symmetrical façade, often with a fanlight over the door, decorative moldings in the cornice, delicate details, Palladian-style windows are common.



Greek Revival style: low-pitched roof, large entablature or cornice, full or partial width portico with prominent columns, sidelights and transom surround the door.



Italianate style: widely overhanging eaves with decorative brackets beneath, tall windows are often arched, square tower or cupolas are common, as are window hoods.



Queen Anne style: steeply pitched roof, asymmetrical façade, highly decorative woodwork, extensive porches.

Washington is the county seat of one of Georgia's oldest counties, Wilkes County. Although originally occupied by the Cherokee and Creek Indians, the area now known as Washington was settled in the late 1700's. After the American Revolution, the town of Washington was established, and during the antebellum period, the area's population grew rapidly. Buildings from both the settlement and antebellum period times remain in use today.

Domestic and commercial buildings representing a variety of stylistic periods contribute to the distinctive character of Washington's downtown and adjacent residential neighborhoods. The historic buildings of Washington range in age from the late 18th century to the mid-20th century and are characterized by both "high-style" and vernacular architecture as seen in residential, commercial, and public buildings.

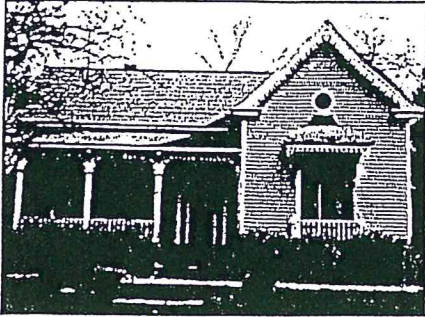
Washington's wealth of historic resources distinguishes the town local, statewide, and even nationally. Historic preservation plays an important role in protecting the numerous and valuable historic resources found here, and the importance of this role cannot be overemphasized. The continuing efforts of citizens to preserve the architectural and cultural heritage of Washington have led to the passage of a local preservation ordinance and the establishment of a local historic preservation commission.

Four districts in Washington and over a dozen individual buildings have been placed on the National Register of Historic Places. The National Register listing is an important recognition that has no effect on what a citizen may do with his or her property. To protect local resources, state-enabling legislation allows localities to determine historic districts and designate local landmarks, thereby restricting substantial alterations to and demolition of important historic buildings.

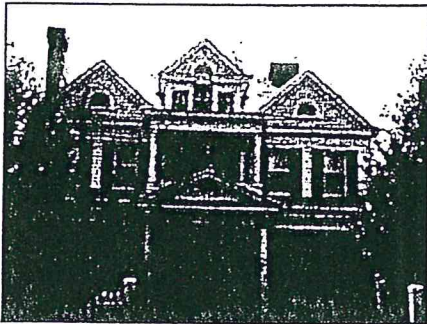
These design guidelines are for use by the Washington Historic Preservation Commission to review the appropriateness of proposed changes within the locally designated historic districts. The guidelines have also been developed to provide property owners with detailed assistance and information in making appropriate changes, renovations, and restorations to their important historic properties.



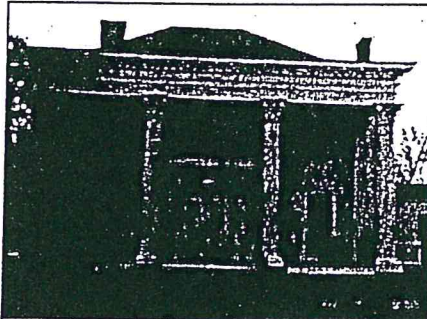
### C. Historic Preservation Commission



Folk Victorian style: Queen Anne elements, such as spindlework, jig-saw cut trim and brackets added to common house forms.



Colonial Revival style: elaborate front doorway with fanlight, sidelights and/or transom, slender columns, window sash are often divided in the top sash with single panes in the lower or single panes in both.



Neoclassical style: full height portico, classical columns, windows sash are often divided in the upper sash with single panes in the lower sash or single panes in both.



Craftsman style: wide eave overhang with rafter tails often exposed, decorative (false) braces are common under gables, tapered, square columns are common.

In 1995, Washington adopted a local historic preservation ordinance, and in 1996 the Washington Historic Preservation Commission was created. The commission consists of five members of the community appointed by the mayor with the consent of the city council.

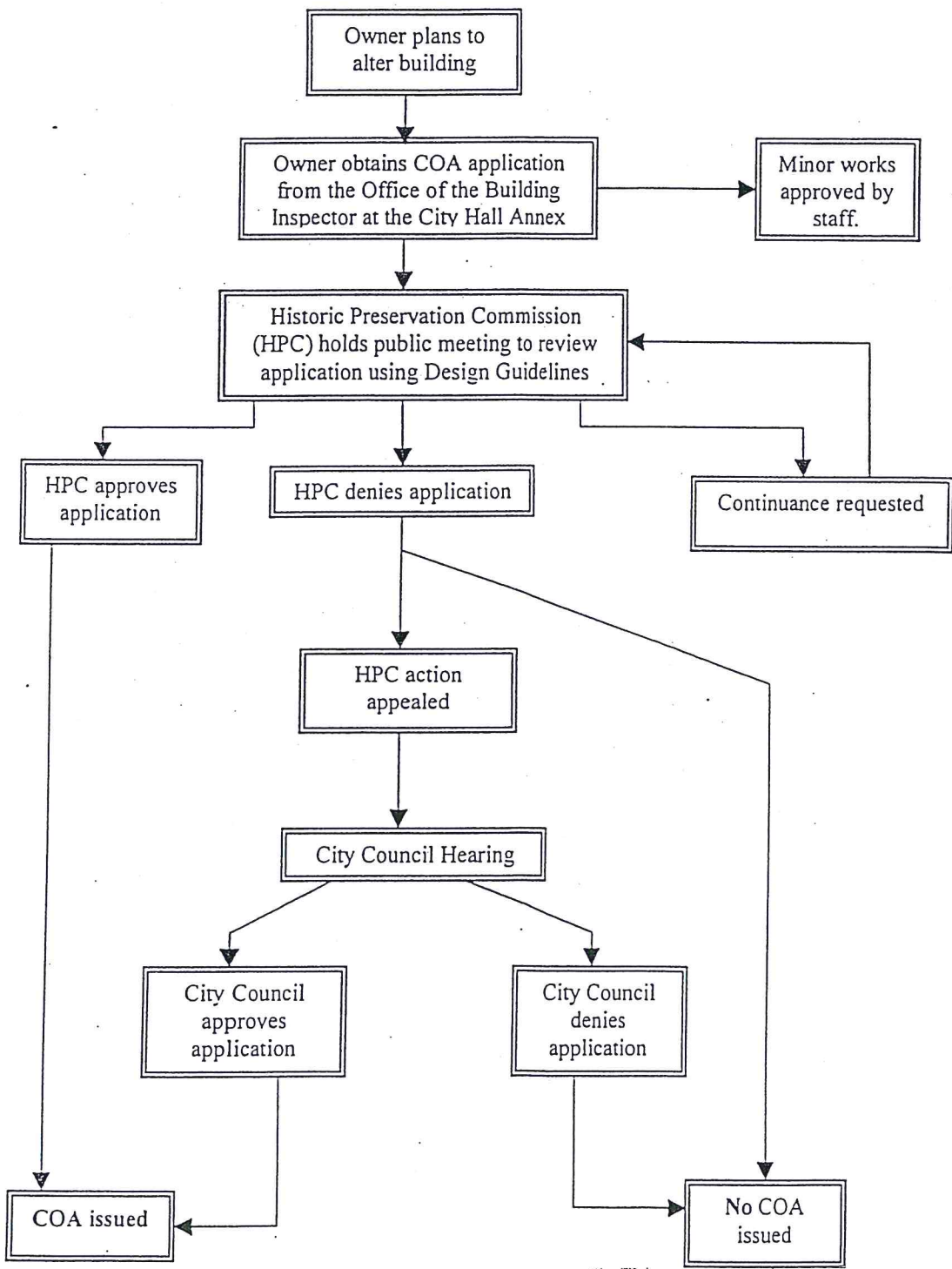
The responsibilities of the Historic Preservation Commission include protection of architectural integrity of the historic districts through review of proposed alterations or demolitions. The commission reviews applications from property owners for certificates of appropriateness in making such changes. The applications are reviewed by the commission to determine if the proposed changes are consistent with the commission's criteria and the locally adopted design guidelines.

The commission currently meets on the second Tuesday of each month at the Washington City Hall Annex. As outlined in the local ordinance, at the monthly meetings the historic preservation commission will pursue designation of local historic districts and will also initiate design review for such areas. The public is invited to attend these meetings. The mailing address of the commission is:

Washington Historic Preservation Commission  
P.O. Box 9  
102 West Liberty Street  
Washington, Georgia 30673

**D. Certificates of Appropriateness**

Any alterations or additions to historic structures, site features and district settings, new construction; demolition or relocation in any locally designated historic preservation district shall require a certificate of appropriateness from the Washington Historic Preservation Commission before purchasing materials or beginning work.



*The COA is not a building permit. It is the owner's responsibility to obtain any necessary building permits.*

## E. Repairs and Minor Works

Certificates of appropriateness are not necessary when repairs use original materials. However, removal of exterior architectural features that would alter the historic appearance of the property do require a certificate of appropriateness. Minor works that do not require approval could include:

1. Any changes in interior spaces.
2. Normal size antennas, both radio and television.
3. Roof ventilators on the back slopes and basement ventilators.
4. Window air conditioning units.
5. Installing gutters and downspouts painted to match the building color or trim color, as long as no significant architectural details are damaged or removed.
6. Re-painting a structure
7. Re-roofing a house with materials that match existing roof materials and configuration.
8. Erection, alteration, or removal of temporary features that are necessary to ease difficulties associated with a medical condition but which do not permanently alter exterior features.

## F. Secretary of the Interior's Standards

The Washington Historic Preservation Commission uses the Secretary of the Interior's Standards for Rehabilitation to determine the appropriateness of proposed work in the historic districts. These ten national standards for rehabilitation were initially developed in 1976 and were revised in 1992 as follows:

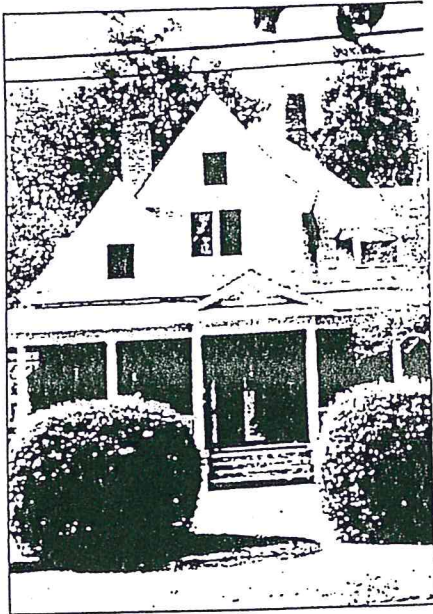
1. A property shall be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property shall be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterizes a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historical properties shall not be undertaken.
4. Changes to a property that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than be replaced. Where the severity of deterioration required replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and, where possible, materials. Replacement of missing features shall be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, shall be undertaken using the gentlest means possible. Treatments that cause damage to historic materials shall not be used.
8. Archeological resources shall be protected and preserved in place. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and shall be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

## II. ALTERATIONS TO BUILDINGS



## A. ROOFS

### 1. Description



This roof has several features:  
gables, dormers and a hip.

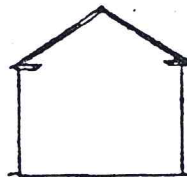
The roof is one of the most important components of a building. By successfully keeping water out of a structure, the roof prolongs the building's life indefinitely. It is also one of the most prominent features of a building and its shape, texture, pattern, materials and details contribute considerable to the overall character of buildings.

The most common roof forms in Washington are gable and hip. Much less common in the district are mansard and gambrel. Flat and shed are common on commercial buildings, additions, and porches. Some buildings exhibit a combination of forms or have other details, such as dormers, cupolas, multiple gables, balustrades, creating, turrets and towers.

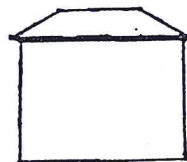
Historic materials found in Washington today include standing seam metal, pressed metal shingles, slate, clay tile, and asphalt shingles.

### 2. Suggested Maintenance

- Gutters should be kept clear of debris.
- Flashing should be kept in good repair and plants and debris should not be allowed to collect on the roof or in the gutter system.
- Metal roofs, with the exception of copper, should have a protective coat of paint to prevent corrosion.
- Incompatible metal fasteners or flashing can also cause corrosion.
- Patching metal roofs with tar is damaging to the metal as well as aesthetically incompatible.
- If replacement of a metal roof is necessary, the most desirable route is replacement in kind with a quality metal, standing seam roof or pressed metal shingles.



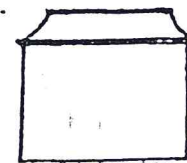
GABLE



HIP



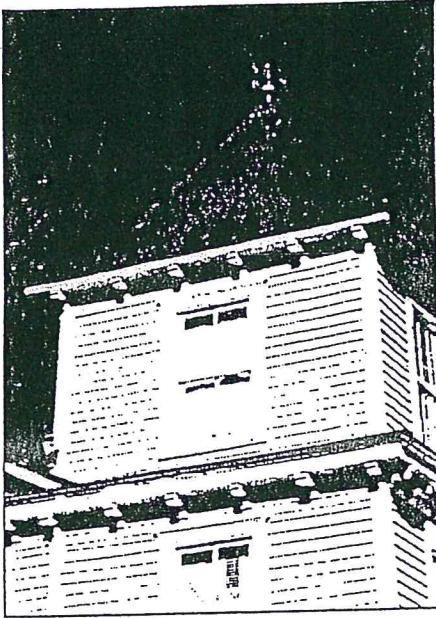
GAMBREL



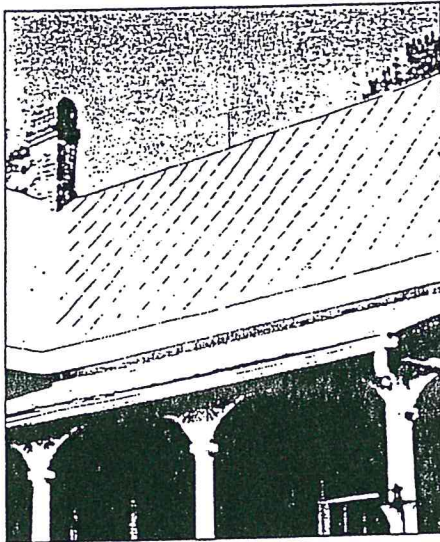
MANSARD

### 3. Roof--Guidelines

- a. Keep the roof's original shape, pitch, line and overhang.
- b. Preserve all architectural features which define the roof, such as cupolas, cresting, dormers, etc. If not feasible to replace with same material, match substitute material to historic fabric as much as possible.
- c. It is best to locate roof vents, antennas, or other roof-mounted elements inconspicuously, such as on the rear of the building.
- d. It is recommended that architectural features be retained as much as possible. When installing a roof or gutters, attempt to blend new gutters with the original building through sympathetic color, materials, and placement.
- e. Skylights, vents, new dormers, or other openings in the roof should be as unobtrusive as possible.



A flat-seam metal roof.



A standing seam metal roof.

## B. EXTERIOR WALLS AND TRIM

### 1. Description

The exterior of a building gives the first clues about the building's age and forms the first impression of the building. Bays, recesses, projections, quoins, brackets, sawn work and other details add to the variety and rhythm of exterior walls. In conjunction with neighboring buildings, the overall rhythm of the street is created.

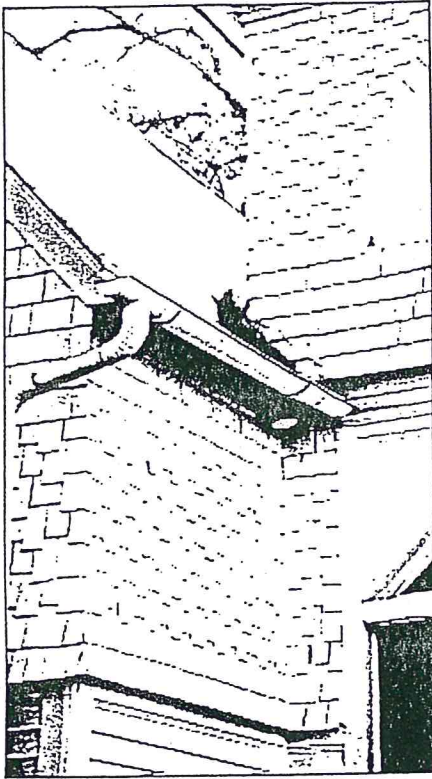
The most common exterior materials in Washington are brick and wood siding. Of wood siding, clapboards are the most prevalent, while examples of flush wood siding, drop siding, and wood shingles in a variety of shapes and patterns are also common.

Many buildings have been covered in aluminum, vinyl or some other synthetic siding, resulting in a loss of detail and potentially causing physical damage to the materials underneath. For the sake of the building's health, appearance and historic character, installation of substitute siding covering original siding is not recommended.



Clapboard siding



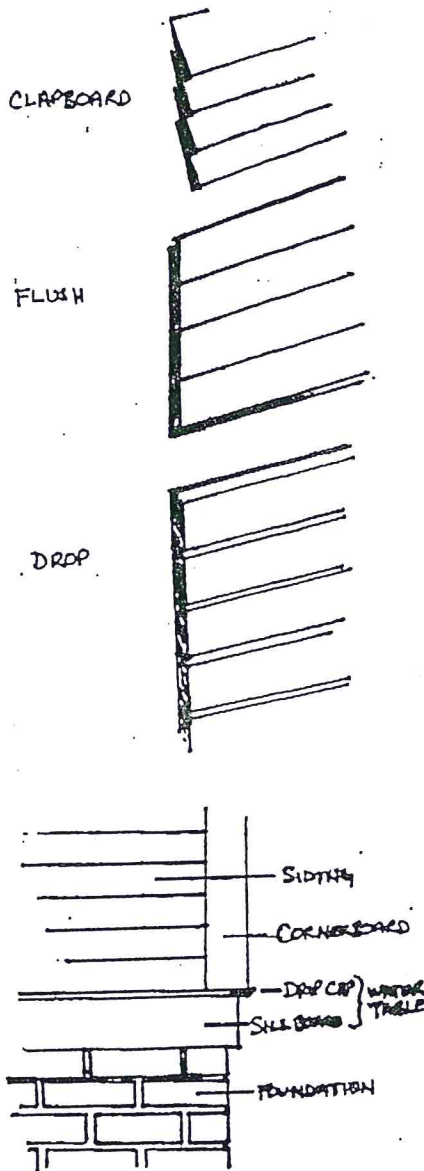


Wood shingle siding.

## 2. Suggested Maintenance

- Rot and peeling paint are the most common problems with wood siding.
- Proper scraping and preparation before painting should help paint stay in place.
- When removing a damaged clapboard, use extra caution to avoid damaging neighboring clapboards.
- All surfaces of a new clapboard should be primed before installation.
- Brick and stone exterior walls should be inspected regularly for moisture damage or cracking.
- Dirty masonry should be cleaned with very low-pressure washing and bristle brushes if necessary.
- Repointing of joints will be necessary, though only about every 50 years or longer. See Section G., Masonry Guidelines for more information on proper repointing.
- Stucco requires maintenance similar to brick.
- Keep all joints properly sealed.
- Maintain a solid coat of paint on all traditionally painted surfaces.
- Remove vegetation near or on walls.
- Maintain gutters and downspouts.

### 3. Exterior Walls and Trim--Guidelines



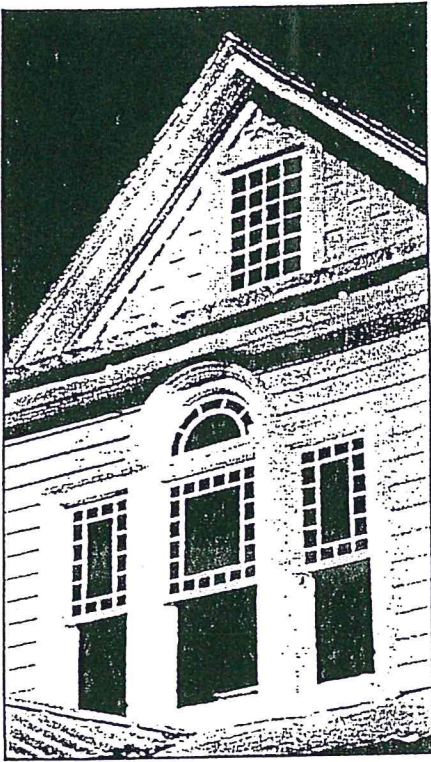
1. Retain and preserve original shape, design, height, materials, and details of historic walls.
2. Character of defining elements such as bays, cornices, arches, quoins, cornerboards, brackets, etc. should be preserved.
3. Maintain fenestration: on the visible facades of a building, walls should not be pierced with openings which did not exist originally and original opening should not be closed.
4. Preserve historic materials whenever possible. If replacement is necessary, try to match the new with the old in color, size, patterns, texture, spacing and composition.
5. If any new vents or mechanical connections are necessary, it is recommended that they be located on non-character defining walls, or inconspicuously on side or rear walls where they will be visible from the street.
6. It is recommended that historically unpainted walls remain unpainted.
7. The use of substitute siding, such as vinyl, aluminum siding or brick veneer is not recommended and is potentially damaging to historic structures.
8. Sandblasting historic surfaces is not recommended.

## C. WINDOWS AND DOORS

### 1. Description

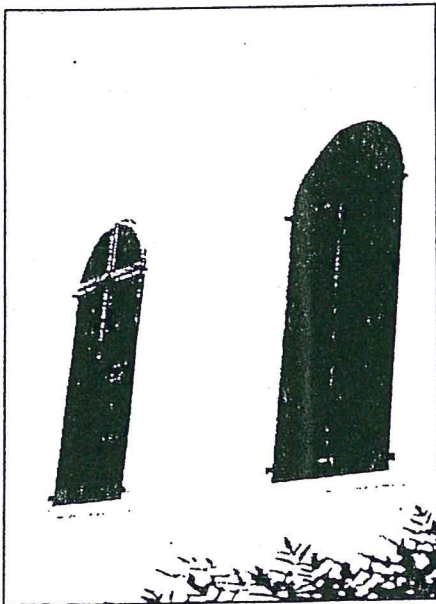
The most common windows in Washington are wooden, double hung sash with a variety of pane layouts. The number and size of panes, or lights, can indicate the building's architectural style and its time period. For example, Queen Anne houses often have longer windows with two panes in each sash while Craftsman and Colonial Revival homes often have a single pane in the lower sash with the top sash divided into several panes. Commercial buildings often have large windows in the storefront with a variety of window styles in the upper stories.

A wide variety of original doors remain in Washington. They are either solid wood paneled or a combination of wood and glass panels.

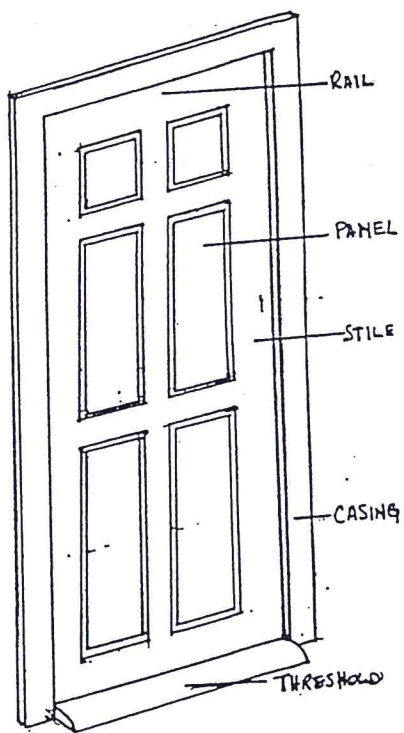
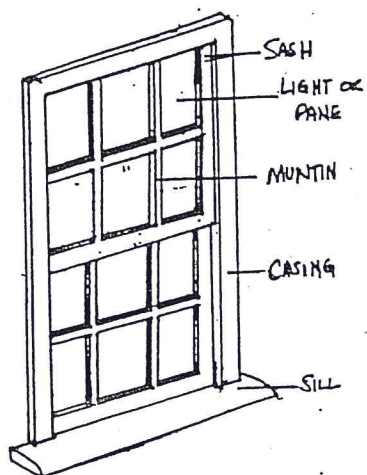


### 2. Suggested Maintenance

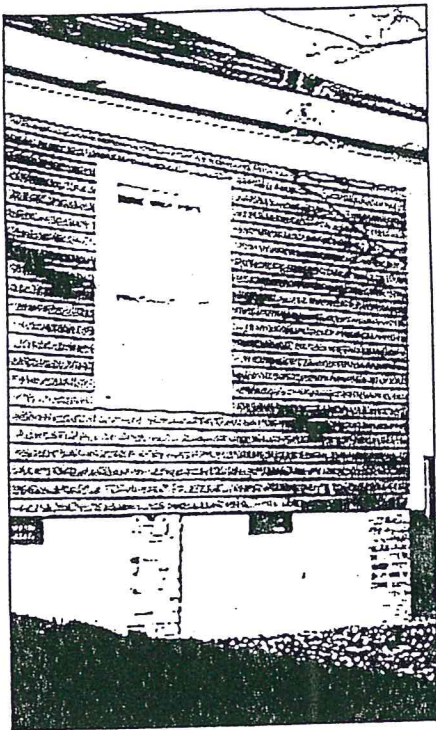
- Repair is the preferred method of dealing with historic windows, doors and shutters, but any replacement should match the originals.
- Often proper weather-stripping can eliminate the need for storm doors and windows.
- Properly maintain glazing putty.
- Make sure water runs off sills and thresholds, away from the building.
- See Suggested Maintenance for wood for further information.



### 3. Windows and Doors--Guidelines



1. Preserve original windows and doors.
2. Preserve openings and details such as trim, sash, lintels, sills, thresholds, shutters and hardware. Do not fill in openings or create new ones on high profile or character defining walls.
3. If replacement is necessary, replace only the deteriorated window, door or shutter to match the original in design, scale, pane, or panel division and material. Replacement windows and doors should fill the original opening and duplicate the original unit. If snap-in muntins are used in replacement windows, they should relate to the scale and depth of the muntins found in adjacent historic windows.
4. If new shutters are installed, it is recommended that they be appropriately sized to the window opening.
5. Storm windows and doors should be installed with the least visible impact as possible.
6. Fabric awnings are often, but not always historically appropriate. Aluminum awnings are not recommended.



Prominent brick piers with new stucco between.

## D. FOUNDATIONS

### 1. Description

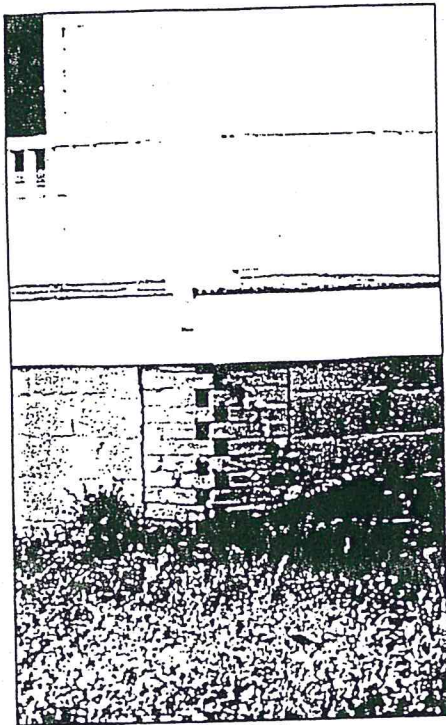
The height, materials and features of foundations are important to a building's historic character. Most of the foundations in the district are either continuous masonry walls or brick piers, with or without other masonry filling the space between the piers. Masonry between piers was usually added at a later date in an effort to weatherproof the house or keep animals out. Stone foundations are found occasionally as well as a few stucco foundations.

### 2. Suggested Maintenance

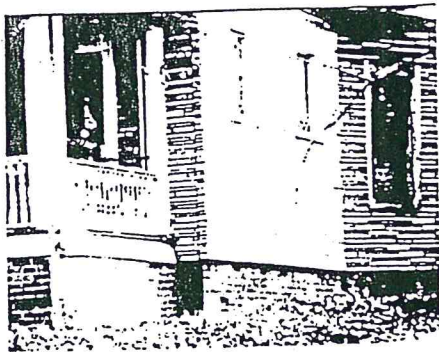
- Provide adequate ventilation to prevent moisture problems.
- Ensure proper drainage by grading the site away from the foundation.
- Install drains around the foundation to remove water if necessary.
- Manage foundation plantings to ensure proper ventilation and drainage.
- Eliminate any vegetation which may cause structural damage.
- Follow masonry maintenance guidelines where they apply.
- Any damaged, old, or loose mortar should be removed and new mortar added. It is essential that new mortar be less hard than the brick or stone so that movement caused by temperature will occur within the mortar rather than cracking the brick or stone.

### 3. Foundations--Guidelines

1. Preserve original design, architectural features and historic character of foundations.
2. Retain and preserve historic materials whenever possible. Any necessary repair or replacement should use materials which match the historic materials in color, texture, pattern, and composition.
3. New utility and mechanical connections should be made through non-character defining walls whenever possible.
4. Is not recommended to paint or apply other coatings to historic brick or stone foundations.
5. Removal of paint from historic foundations is not recommended unless the brick is of very high quality and was intended to be exposed. Use only chemical removers formulated specifically for masonry. Never sandblast.
6. If the spaces between piers are to be filled, it is recommended that it be done with recessed, dark panels so that the piers remain prominent.
7. When constructing a new foundation for a historic building, the materials, methods of construction, and form should closely adhere to the original design.

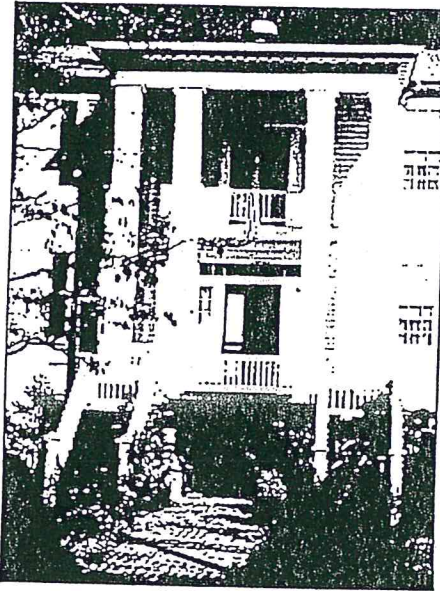


A brick pier inappropriately painted the same color as the fill.



Continuous brick wall foundation.

## E. PORCHES, ENTRANCES & BALCONIES



### 1. Description

Porches, verandahs, entrances and balconies are often very prominent features of historic buildings, because of this, they are often altered to reflect current architectural styles.

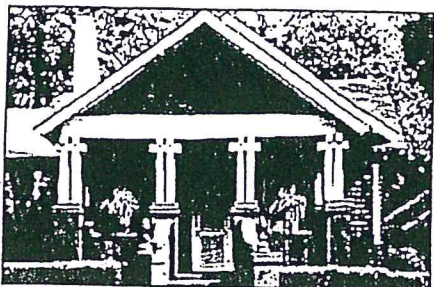
Front porches are usually one story in height, though not uncommon in Washington are full height porches or verandahs and porticoes which are often found on Greek Revival and New-Classical houses. Sleeping porches, back and side porches and balconies are found, both in their original state or enclosed with screen, glass or other material.

Sometimes, porches, entrances or balconies were created long after the construction of the building, but have now become historic. For example, a Queen Anne porch may have been added to a Federal house. Without clear documentation of the original appearance of the building, removal of added historic porches and recreation of "what might have been" is not recommended.

Similarly, porches were sometimes removed. New porches may be built in the location of missing porches even when no documentation exists, if the design is compatible with the building in height, proportion, roof shape, materials, texture and details.

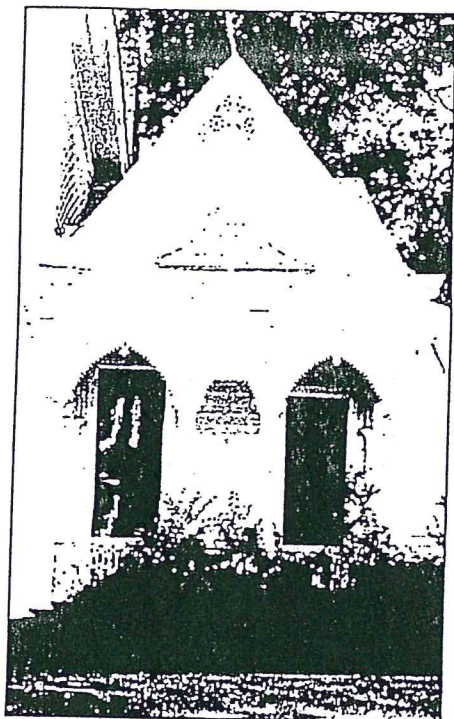
### 2. Suggested Maintenance

- Repair rather than replace.
- Floors should slope away from the building to ensure that water moves away from the building and does not collect on the porch floor or roof.
- Keep wood elements painted.

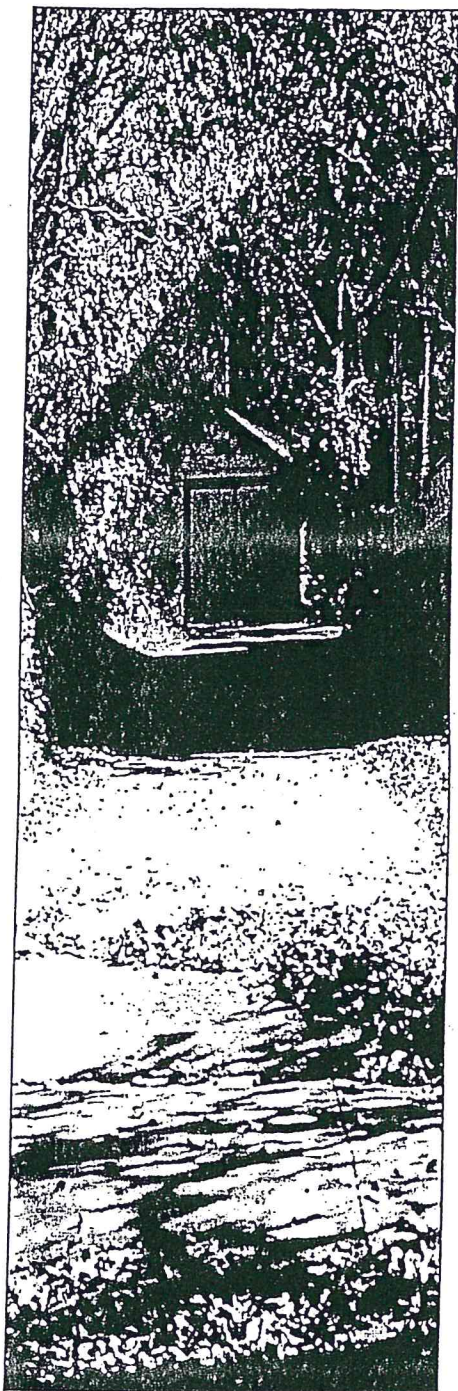


### 3. Porches, Entrances and Balconies--Guidelines

1. Retain and preserve historic porches, entrances and balconies and the elements that make them up.
2. Retain historic material, such as flooring, ceiling boards, balustrades, trim etc. whenever possible. If replacement is necessary, make sure new material matches the original in composition, size, scale, and design.
3. In the event that a historic porch is completely missing, any reconstruction should be based on accurate documentation, or new, contemporary design, which is compatible with the building scale, size, proportion, shape, material, etc.
4. Historic changes to an original porch or entrance or one added later, but which now is historic itself, should not be removed. The porch or entrance should not be taken back to its original state without documentation of the original appearance.
5. Enclosure of front, side, back or sleeping porches is discouraged and should be thoughtfully designed to retain the character of the porch.
6. Adding elements or details to a porch or entrance that were never there is not recommended.







## F. OUTBUILDINGS

### 1. Description

Historic outbuildings are fairly rare and, because of their rarity, can be as important as the buildings they sit behind. Some of them echo the style of the main building and play an important role in defining the historic character of Washington.

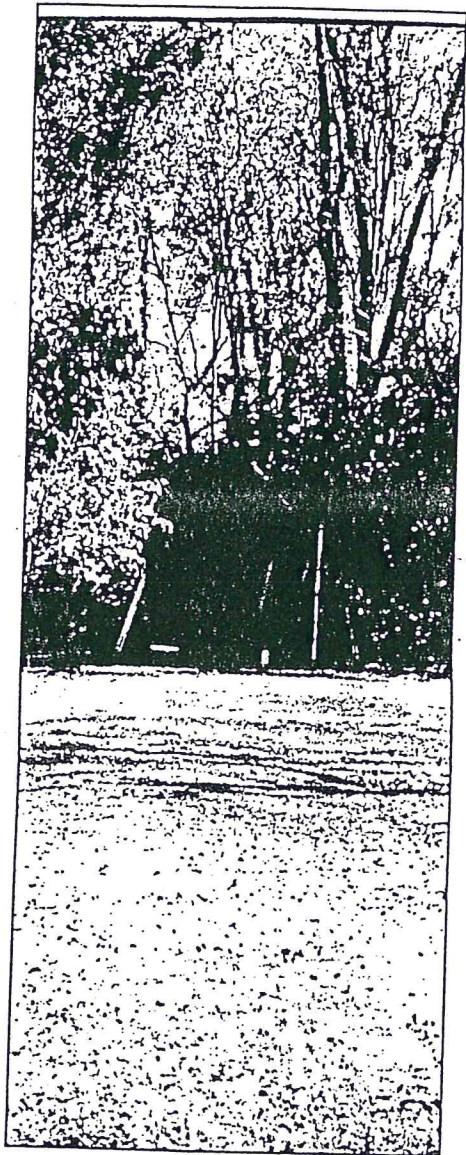
Early storage buildings were usually small structures at the rear of the yard.

### 2. Suggested Maintenance

- Inspect fabric, such as wood or masonry, including foundations, regularly for signs of deterioration and repair deterioration as needed.
- Maintain paint on historically painted elements.
- Follow guidelines for maintenance of masonry, wood or metal where appropriate.

### 3. Outbuildings--Guidelines

1. Preserve historic outbuildings including their distinctive architectural features such as roofs, windows, doors, trim, etc.
2. Historic materials should be retained. If replacement is necessary, replace only deteriorated elements using new materials, which match the historic materials in scale, composition, pattern, texture and design. Consider substitute materials only the original materials are not feasible.
3. If a new outbuilding is needed, keep the new building's dimensions and details compatible with the main building, other historic outbuildings in the area and any existing outbuildings on the property. If proper documentation exists, a new outbuilding may be a reconstruction of an original design.
4. Prefabricated metal storage buildings are not recommended.
5. A new outbuilding should be located in the rear of the yard in a traditional relationship to the main building. Do not locate new outbuildings in front of the main building unless it can be documented that this is a historically accurate site for such a building.

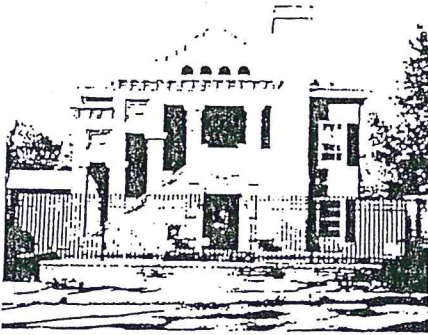


## G. MASONRY

### 1. Description

Brick, stone, tile, terra-cotta, concrete, stucco and mortar are all masonry materials found on historic buildings. The pattern, color, bonding pattern, joints, texture and size of masonry contribute significantly to a historic building's character and appearance.

Brick is the most common masonry in Washington. Stucco is used on a few buildings and stone is used particularly in retaining walls.

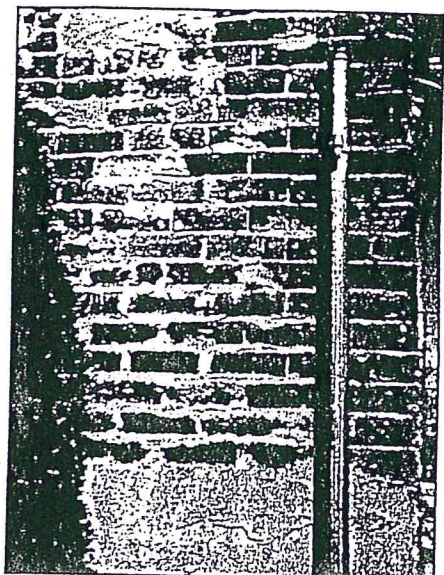


Historic brick jail.

### 2. Maintenance and Repair

- Inspect masonry regularly for cracks and repair accordingly.
- Prevent water from collecting at the base of masonry walls, foundations or chimneys.
- Clean only if necessary to remove heavy soiling or to prevent deterioration. Use only the gentlest means necessary such as a low-pressure (500 pounds of pressure per square inch or less) water wash, mild detergent and natural bristle brushes. Use chemicals only as a last resort, testing them on the masonry first.
- Remove vegetation that may cause structural damage or prevent ventilation and drainage.

### 3. Masonry--Guidelines



Incorrect replacement of damaged mortar.



Masonry suffering from water damage.

1. Preserve original masonry, including all construction techniques and architectural elements such as bonding patterns, chimneys, arches, quoins, cornices and pediments that are character defining.
2. Retain historic materials whenever possible. Any new materials should match the original in composition, shape, texture, pattern and size. Special attention should be given to matching the new materials hardness to that of the original.
3. Cracking, crumbling, failing mortar should be replaced by repointing:
  - Remove the old mortar by hand raking the joint.
  - Use new mortar that duplicates the original in strength, composition, texture and color.
  - New mortar that is too hard will cause serious damage to the existing masonry.
  - Finish by duplicating the size and profile of the original joint.
4. It is recommended that unpainted masonry surfaces remain unpainted.
5. Waterproof or water repellent coatings are not recommended as substitutes for traditional repairs or repointing; however, clear waterproofing can be appropriate when combined with proper repair and maintenance procedures. Only if masonry repairs have failed to stop a water-penetration problem should such coatings be used.
6. Remove paint from historic masonry surface only if the brick is of high quality and was exposed historically. Removal should be done only with a chemical remover specifically for masonry. Always test chemicals on inconspicuous locations before use.
7. Sandblasting and high-pressure water blasting are extremely damaging to masonry and should never be used on historic surfaces.

## H. WOOD

### 1. Description

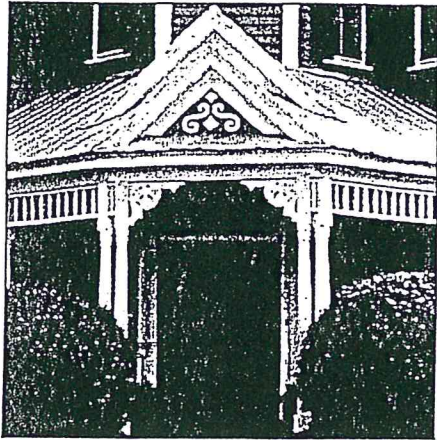
Wood is a natural resource that has always been plentiful in America, and consequently, it is historically a popular building material. Wood siding, trim, shingles, brackets, cornices, balustrades, columns, pediments, and architraves are all examples of wooden architectural elements that individually and collectively create the distinctive qualities of buildings.

The importance of these features cannot be overstated. All efforts should be made to retain as much of the original historic material as possible. Through consistent maintenance and repair, achieving this end should not be difficult.

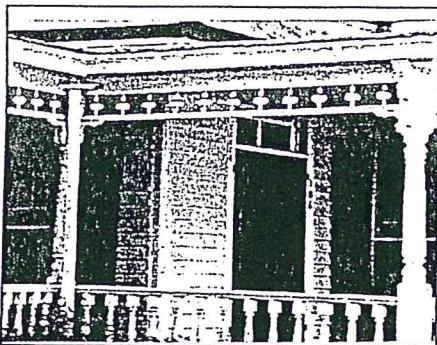
Wood was commonly used for cornices, storefronts, and upper wall surfaces on 19<sup>th</sup> and early 20<sup>th</sup> century commercial buildings. The exterior woodwork on these buildings should also be retained.

### 2. Suggested Maintenance

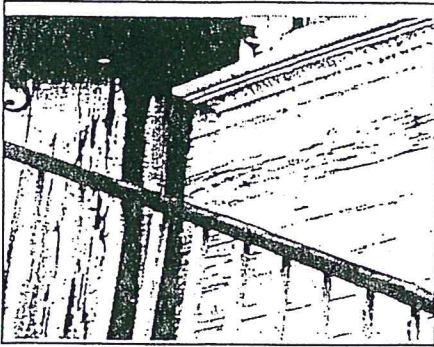
- Check regularly for moisture problems evidenced by mold and mildew as well as insect problems evidenced by bore holes and saw dust in areas such as sills, siding, porches, and steps.
- Clean out leaves and other debris which accumulate around the foundation of the building. Vegetation located close to a building can cause moisture problems.
- Clean gutters, downspouts, and roofs once or twice a year depending on the amount and location of vegetation around the building. Serious water damage can be avoided with this simple procedure.



Decorative wooden brackets and spindles.



### 3. Wood--Guidelines



Paint has not been maintained.

1. Wood surfaces should be primed before painting. Paint or other protective wood coating should be maintained.
2. When replacement of original historic deteriorated element should be replaced. Replacement materials should be the same proportion, texture, and detail as the original.
3. Retain historic materials whenever possible. Before replacing deteriorated wood materials completely, consider methods such as assisting, sistering, splicing, or epoxy treatments.
4. Do not clean wood surfaces with sandblasting as it is very harmful.

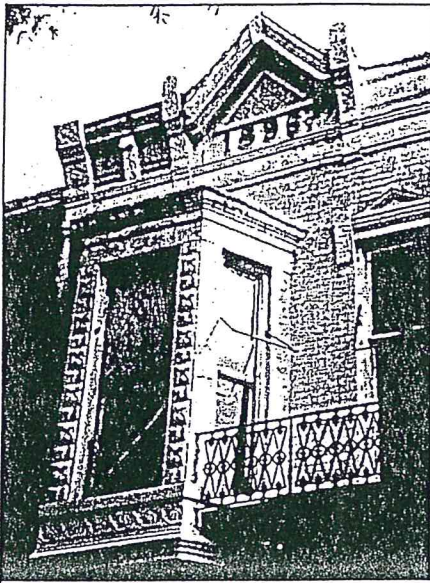
## I. Architectural Metals

### 1. Description

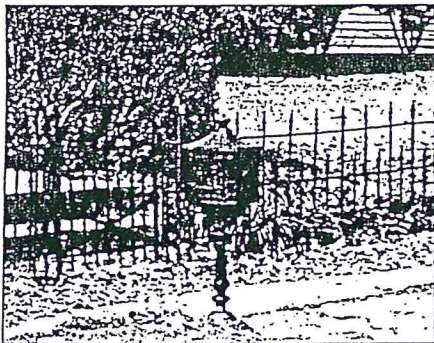
Architectural metals are manifested in many ways in a historic district, from porch railings to cornices to roofs. Like wood, metal architectural details add character and depth to the overall fabric of a district. Every effort should be made to retain all architectural metals in the historic district.

Different metals depending on whether they are soft or hard require different degrees of cleaning. Chemical methods are effective for soft metals such as lead or copper while hand scraping and wire brushing are appropriate for hard metals such as steel and cast or wrought iron. Most metals require paint to prevent corrosion and for such metals maintenance of paint is essential. Even the smallest chip in the paint makes most metals vulnerable to corrosion.

Cast iron and sheet metal were often applied to masonry facades on 19<sup>th</sup> and early 20<sup>th</sup> century commercial buildings. Cast iron was commonly used for window lintels and storefront columns while stamped metal, a soft metal, was used for cornices.



Decorative pressed metal.



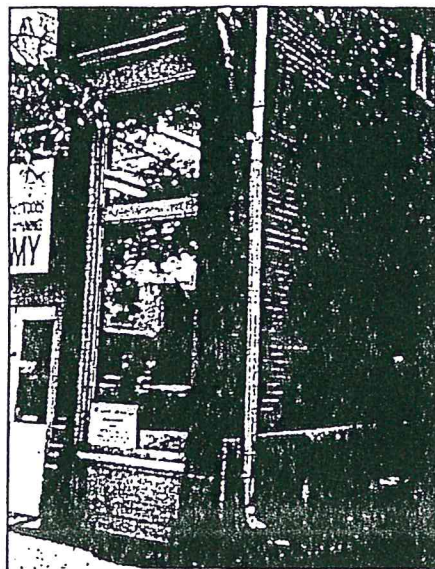
Decorative iron fence.

### 2. Suggested Maintenance

- Chemical cleaning is appropriate for soft metals such as lead or copper, while hand scraping and wire brushing are appropriate for hard metals such as iron or steel.
- Maintain historically painted metals. Many metals require paint to prevent corrosion.
- When cleaning cast iron, low-pressure sandblasting should only be used if gentler methods such as scraping or wire brushing are unsuccessful.

### 3. Architectural Metals--Guidelines

1. When cleaning cast iron, low-pressure sandblasting should be used if gentler methods such as scraping or wire brushing are unsuccessful.
2. Cast iron pilasters and columns and sheet metal cornices should be painted to prevent corrosion.
3. Maintain historically painted metals.
4. Painting an architectural metal is not recommended if it was not painted historically.



Iron pilaster.



Decorative iron bracket.

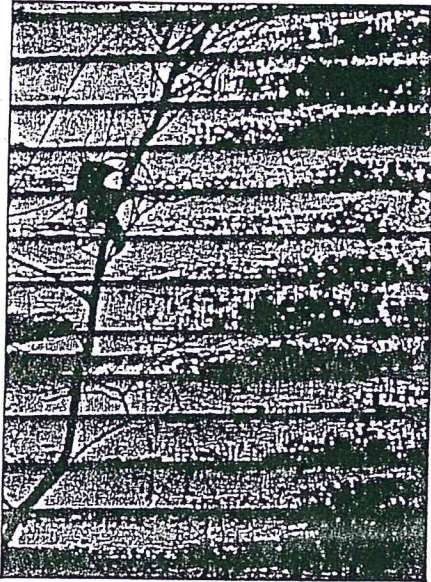


## J. PAINT

### 1. Description

Paint not only accentuates architectural features on a building but it serves a very practical purpose as well as providing protection from moisture for both wood and metal surfaces.

Owners should consider using professionals when the repainting involves an extensive section of the house since such a project is labor intensive. It is also best to call professionals in to deal with lead paint.



Wood which needs repainting.

### 2.Suggested Maintenance

- Metals such as copper, bronze, and stainless steel do not require paint, but all other metals do need paint to prevent corrosion.
- Repainting can be accomplished with cleaning, light scraping, and hand sanding before the new finish coat is applied, but often more intensive measures are required.
- Removing paint from historic buildings should only be done as a last resort. If removal is necessary, only go down to the next sound layer of paint. Do not use blow torches, sandblasters, or rotary sanders due to the risk of fire, scarring, and stripping, respectively.
- Cleaning can be accomplished easily and gently with a garden hose or for stronger dirt with  $\frac{1}{2}$  cup of household detergent, one gallon of water, and a soft bristle brush.

### 3. Paint--Guidelines

1. Paint should be maintained on historic buildings to preserve the historic material.
2. All metals except for copper, bronze, and stainless steel should be protected from corrosion with paint.
3. Do not paint over decayed wood as deterioration is often an indicator of larger problems.
4. Consider whether repainting is necessary or if cleaning will suffice.
5. Masonry should not be painted unless the protection that paint provides is needed.
6. If masonry has been painted, the paint should not be removed unless removal can be accomplished without damaging the masonry beneath.

## K. LIFE SAFETY AND ACCESSIBILITY

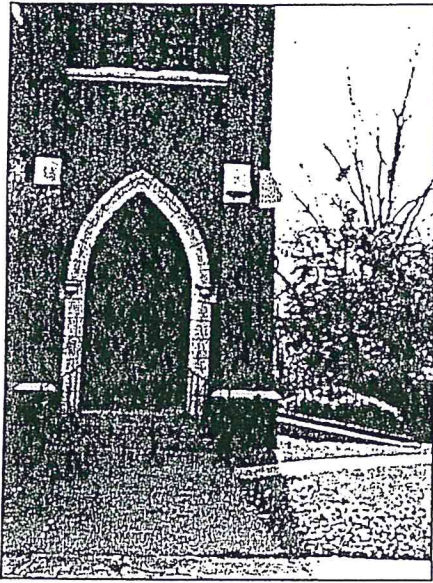
### I. Description

Often it is the unique and significant characteristics of historic buildings that also make disability access extremely difficult. The keys to ensuring both accessibility and life safety retaining the integrity of a historic building are careful planning and creative design.

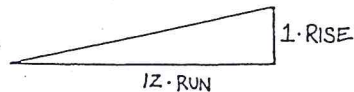
Three areas should be considered before any changes are implemented. First the historic and architectural significance of the building should be assessed, and then an assessment of the current access and fire safety areas should be made. Lastly, all changes to access should be made with preservation ideology in mind. It is always a good idea to consult with the State Historic Preservation Office to determine if special provisions can be made when any level of changes to a building will significantly threaten or destroy the historical value of the property.

Three ways in which accessibility can be accomplished in historic buildings are the following: regrading, ramps, or wheelchair lifts. Whenever landscape features and entrance stairs are not of primary significance, regrading can be a viable solution to access problems. A wheelchair lift is another popular accessibility solution as it is usually the least intrusive. All accessibility changes should be in scale with historic property and visually compatible.

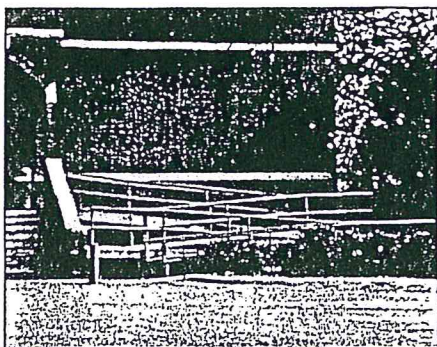
Fire escapes required by fire and safety codes should be located at the rear or along the side of buildings.



Sensitive wheelchair access on an institutional building.

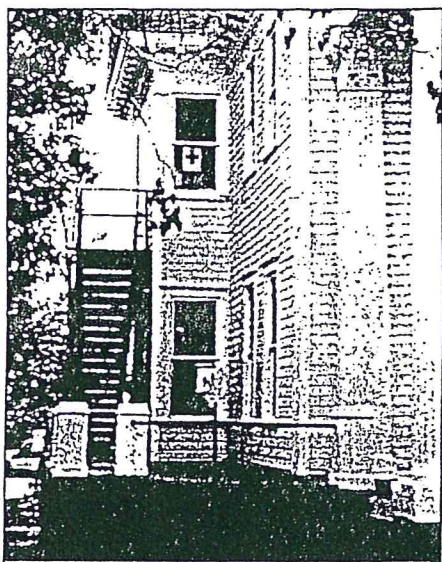


Standard rise/run requirement for ADA compliance for wheelchair access.



## 2. Life Safety and Accessibility--Guidelines

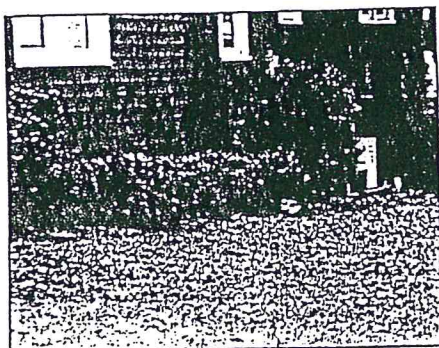
1. Historic buildings must be accessible, but every effort should be made to retain the historic character and significance of the buildings.
2. Changes should be made with reversibility in mind.
3. Changes should be in scale with the historic building as well as visually compatible.
4. Convenient parking should be provided as well as easy access from parking.
5. Design of new provisions should be distinguishable from the historic fabric.
6. Access to entrances can be obtained through ramps, regarding, and wheelchair lifts.
7. Whenever possible try retrolifting doors rather than replacing historic doors or widening door frames; also, use automatic door openers to provide manageable door opening pressures.
8. Fire escapes should be located on rear or side elevations.
9. New fire doors should not be used if the implementation compromises the historic integrity of a building.
10. When fire doors are required, ensure that the doors are in keeping with the original doors and the historic character of the building.
11. When ramps are used, the width of the landing must be five feet by five feet and level with the threshold. The steepest allowable slope for ramps is 1:12 or 8%, but gentler slopes are advisable.



Fire escape properly located on a side elevation.

## L. UTILITIES AND MECHANICAL SYSTEMS

### 1. Description



Properly disguised mechanical system.

Providing historic properties with modern amenities is often a difficult and destructive process. Whenever possible, use the built-in feature of historic buildings such as shutter, windows, porches, and awnings to reduce the heating and cooling loads. Insulating attics and basements is also a good way to improve energy efficiency. Upgrade and use the existing systems whenever possible. If new systems are required, retain as much of the historic fabric as possible. Determine the areas of a building which are most architecturally significant and then design and install systems that protect those features. It is recommended that mechanical systems be placed in the least visible locations possible.

## 2. Utilities and Mechanical Systems--Guidelines

1. Shutters, windows, porches, curtains, awnings, and shade trees should be used to capitalize upon a historic property's built-in energy efficiency.
2. Retain or upgrade existing systems such as radiators and boilers, whenever possible.
3. Improve energy efficiency by adding insulation in attics and basements.
4. Preserve decorative elements of historic mechanical systems such as switch plates, grills, and radiators whenever possible.
5. Use existing closets or shafts when installing new systems where possible.

## M. SYNTHETIC SIDING

### 1. Description



Synthetic siding which has disguised significant architectural features.

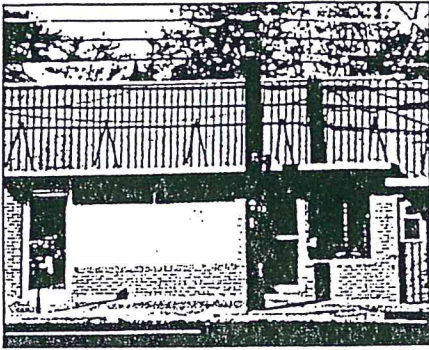
Since the 1930s, when asbestos siding was introduced as a new building material, Americans have been looking for manufactured alternatives to wood siding. The latest alternatives on the market are aluminum and vinyl. Property owners are understandably attracted to these home improvement possibilities because manufacturers promise that their products need little maintenance and no repainting. Despite what the manufacturers say, synthetic siding does not improve energy efficiency. Furthermore, the siding itself does not provide effective insulation and the insulation backing is too thin to offer any energy conservation.

Wood siding is a significant historical and architectural feature that should be preserved. Application of manufactured siding is not recommended because it disguises and sometimes destroys distinctive architectural features. According to the U.S. Department of Agriculture, two coats of good paint will last eight to ten years. Once painted, vinyl siding requires the same maintenance as wood.

Although wood is often considered the only historic siding material, asbestos is the original siding on many homes built in the 1930s and 1940s. Asbestos siding is no longer available, but if new siding is needed, other material, similar in appearance may be used.

### 2. Suggested Maintenance

- Manufactured siding should not be used in place of good maintenance. The subtle signs of deterioration such as peeling paint and stains should be investigated and fixed before application of manufactured siding.



### 3. Synthetic Siding--Guidelines

1. The application of manufactured siding is not recommended as it disguises and sometimes destroys significant architectural features.
2. Manufactured siding is an acceptable alternative when existing siding is beyond repair.
3. If a non-historic siding has previously been applied then an application of vinyl or aluminum siding is acceptable as long as the existing siding is beyond repair or the siding can be installed without damaging or obscuring important architectural features.

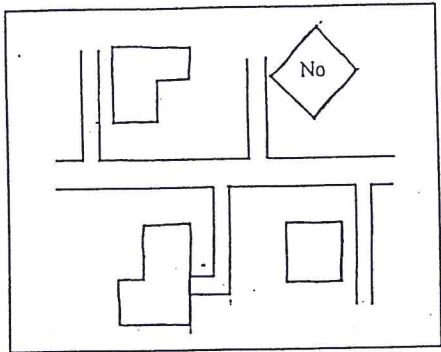


### III. NEW CONSTRUCTION AND ADDITIONS



## A. NEW CONSTRUCTION IN THE HISTORIC DISTRICT

### 1. Description



Orientation

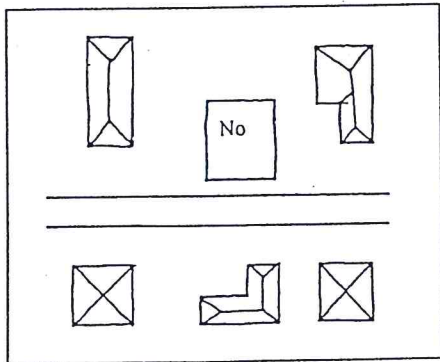
Infill construction in the historic district is encouraged as long as the design and siting of the building are compatible with the character of the historic district. There are many factors that contribute to the compatibility of a proposed design. The factors that will be addressed are setback, spacing between buildings, orientation, scale, massing, proportion, materials and architectural features.

It is also important to note that site design and landscaping can have much to do with the suitability of new construction in the historic district. It is important to note that although new designs should be built to be compatible with the historic district, they should not be design to replicate existing historic buildings.

### 2. New Constructions in the Historic District-- Guidelines

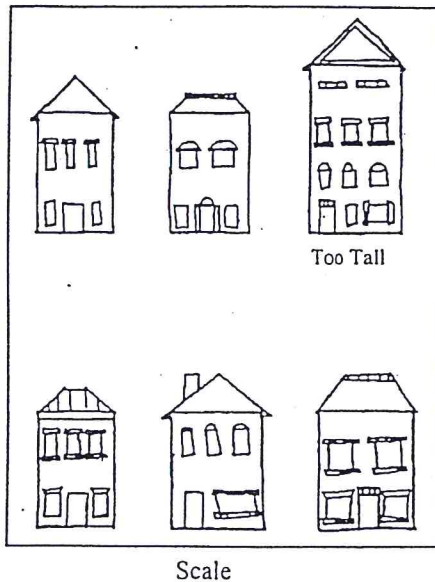
#### Setback

1. The setback of the proposed building should be consistent with that of adjacent buildings as well as others on the street.
2. The proposed building should be oriented to the street in the same manner as adjacent buildings as well as others on the street.
3. The spacing between the proposed building and adjacent buildings should be consistent with the historic layout of the neighborhood.
4. The siting of all secondary structures, such as garages, storage sheds, etc. should be consistent with the siting of other such structures in the district.



Setback

## New Construction in the Historic District--Guidelines (continued)

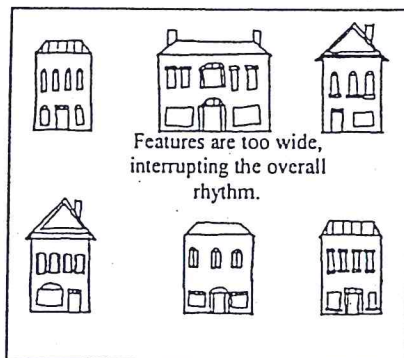


### Scale

1. The height of proposed buildings should be within ten percent of the height of adjacent existing buildings.
2. The width of a proposed building should be consistent with the width of other buildings on the street.
3. The scale of architectural elements such as windows, doors, porches and roofs should be consistent with a scale that was historically used in the district.
4. The directional emphasis (horizontal or vertical) of the proposed building should be consistent with adjacent buildings as well as others on the street.

### Architectural Features

1. Doors and Windows--The doors and windows of the proposed building should be consistent in scale and design with historic examples. The relationship between solids and voids on the main facade should be consistent with others that are found in the district.
2. Roof Forms--The shape of the roof of a proposed building should be consistent with roof shapes that are commonly found in the district.
3. Porches--New porches should be consistent with porches on buildings of comparable size in the district. Design elements should be similar to those used on porches in the district.



Architectural Features or  
Rhythm

## B. ADDITIONS TO HISTORIC BUILDINGS

### 1. Description

Additions to historic buildings are appropriate when designed to compliment rather than detract from the historic features of surrounding buildings. The two most important aspects to consider when designing an addition for a historic building are scale and materials.

Additions should be added to the most inconspicuous façade of the building. This causes the least amount of visual disturbance in the district. The United States Secretary of the Interiors Standards for additions to historic buildings should be consulted along with these guidelines.

## 2. Additions--Guidelines

1. Additions to historic building should be designed to cause the least amount of visual interference. Additions should be built in the most inconspicuous place possible.
2. Additions should be constructed so that the least amount of historic fabric is lost. Also, additions should be constructed so that if removed in the future it will cause little damage to the original building.
3. Materials on additions should be compatible with the materials used on the original building.
4. Doors and windows on an additions should be compatible with those found on the original building. The scale and rhythm of doors and windows should also reflect the design intent of the original building.
5. Design elements on additions should reflect those found on the original building without replicating the historic elements.
6. The roof form on the addition should be compatible with that found on the original building and with others in the district.
7. The foundation of the addition should be designed so that the scale and materials are compatible with the foundation of the original building.
8. Additions should not be designed to be taller than the original building. Also, additional stories should not be added to historic buildings.
9. Additions should be designed so that they can be differentiated from the original building.

## **C. NEW CONSTRUCTION AND ADDITIONS IN THE COMMERCIAL DISTRICT**

### **1. Description**

New construction and additions are encouraged in the commercial district as long as they are built in a manner that is compatible and complementary to existing historic commercial structures. The commercial center is a unique and important part of Washington. New buildings and additions, when design appropriately can add to the sense of place that is found in the downtown commercial area. The following guidelines will help building owners and developers construct new buildings and additions that will not detract from the commercial district but rather will add to the character of the district making it a more desirable to live, work and shop.

### **2. New Construction and Additions in the Commercial District--Guidelines**

1. New buildings should match the original setback established by existing and adjacent buildings in the district.
2. The scale of new buildings should be compatible to those existing in the district. The height of new buildings should not be any higher than ten percent above the height of adjacent buildings. If new buildings must be built wider than traditional buildings the facade of the building should be designed in a manner that reflects the traditional storefront layouts of other buildings in the district.
3. New buildings should complement and reinforce the visual rhythm and pattern created by other buildings on the block.
4. New buildings and additions should not alter the historic layout of streets, alleys, sidewalks and vistas.
5. Roof forms for new buildings and additions in the district should reflect forms that have traditionally been used on historic buildings.
6. Materials used on new buildings and additions should be similar to those that have been historically used in the district.

**New Construction and Additions in the Commercial  
District--Guidelines (continued)**

7. The scale and proportions of windows and doors on new buildings and additions should be complementary of those already existing on historic buildings in the district.
8. Storefronts on new buildings should be compatible in terms of scale, proportion, layout and materials with other historic storefronts.
9. Additions to historic buildings should not alter the historic fabric or design of the buildings. Additional stories should not be added to historic commercial buildings. Additions should be compatible with the historic building in terms of mass, scale, materials, proportions of windows and doors, as well as the relationship between solids and voids.
10. Additions should be built in a manner that differentiates the old building from the new addition, yet is complementary to the design of the original structure.

# IV. SITE FEATURES AND DISTRICT SETTING

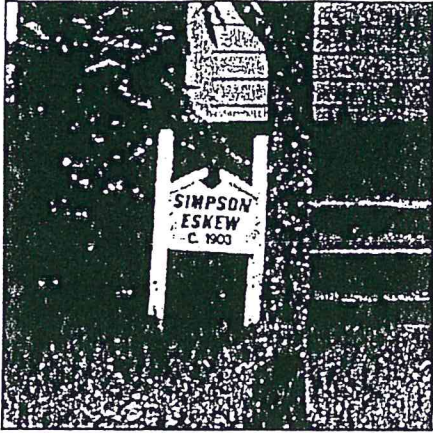




## A. SIGNS

### 1. Description

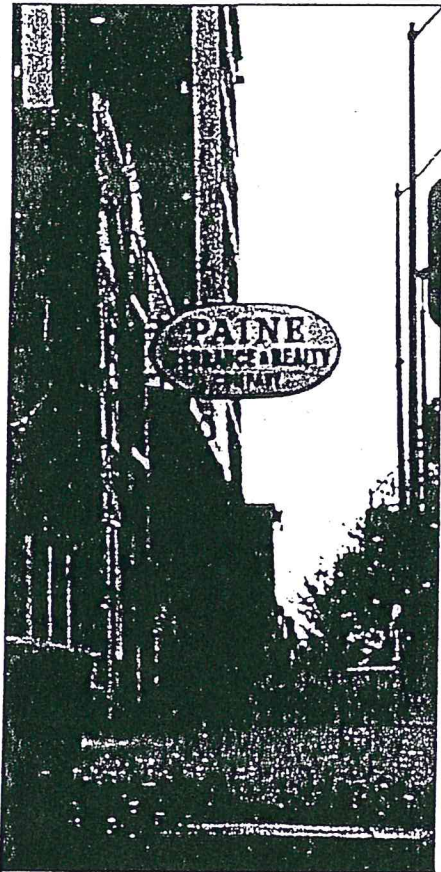
The appropriate use and placement of signs in a historic district can enhance the character of the district. In Washington, signs noting the name and date of construction of residential structures are fairly common. **All proposed signs must conform to the local sign ordinance of the City of Washington Code, Chapter 58.**



Residential identification sign.

### 2. Maintenance--suggestions

- Ensure that graphics and lettering are readable.
- Follow guidelines outlined in the sign ordinance.



Inappropriate commercial sign with backlighting.

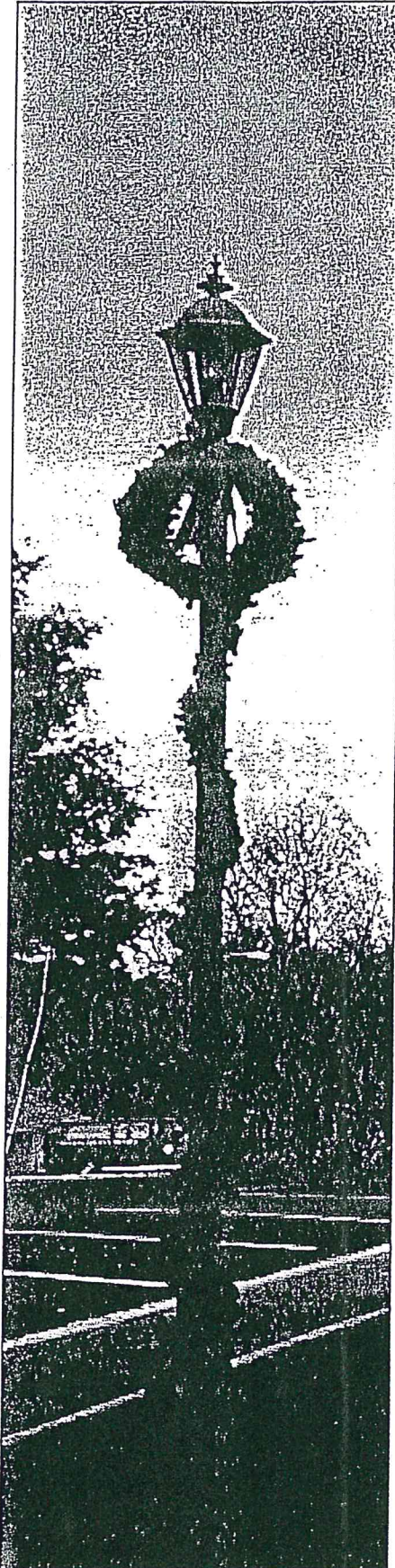
## B. LIGHTING

### 1. Description

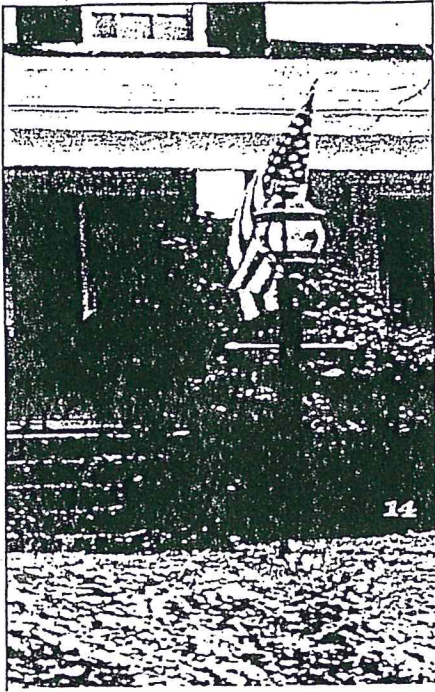
The character of a historic district can be reinforced and enhanced by the selection of appropriate exterior lighting. Unobtrusive lighting fixtures are recommended. Lighting levels should provide adequate illumination for safety concerns, but not detract from or overly emphasize the building or the site.

Introduction of porch and entrance lighting, fixtures and low-level security lighting, freestanding light fixtures mounted on posts, including high illumination security lights should be reviewed by the commission.

In all cases, the compatibility of proposed exterior lighting and light fixtures is assessed in terms of design, material, use, size, scale, color, and brightness. Review of proposals for exterior lighting may require a scaled drawing or site plan. For post-mounted fixtures, the following information may be required: the location and height of each pole; the number of light fixtures to be located on each pole; the type and wattage of all lights; the area to be illuminated; and the aiming angle of each light fixture. Furthermore, photographs or brochures of proposed fixtures are useful in design review.

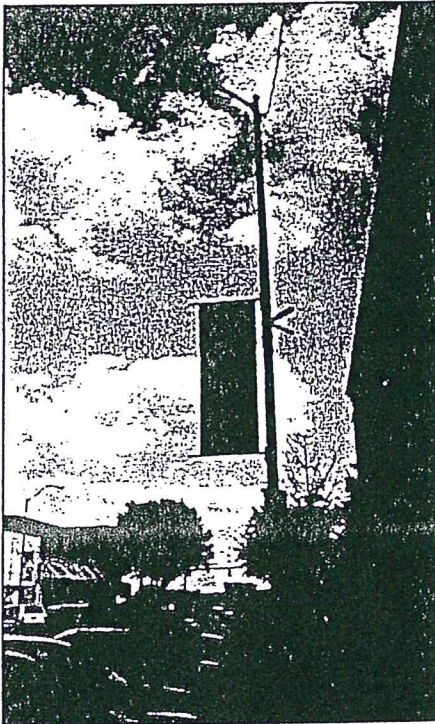


## 2. Lighting--Guidelines



Residential light fixture.

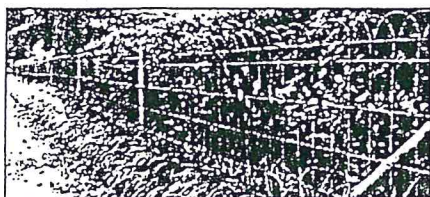
1. Introduce exterior lighting that is understated and compatible with the structure, the property, or the historic district. Compatibility of exterior lighting and lighting fixtures is assessed in terms of design, material, use, size, scale, color and brightness.
2. Rather than indiscriminately lighting areas, introduce subtle lighting qualities by carefully locating light sources.
3. Introduce lighting levels that provide for adequate safety, yet do not detract from or overly emphasize the structure of the property.
4. Introduce low-level lighting at the public-private edge of the property for the safety of pedestrians.
5. Introduce directional lighting to avoid spilling light onto adjacent properties, especially in residential areas. Exterior lighting should not be directed onto neighboring properties because it may adversely affect the enjoyment of such properties.
6. It is not recommended to introduce or remove exterior lighting fixtures that would alter the historic or architectural character of the structure, the property, or the historic district.



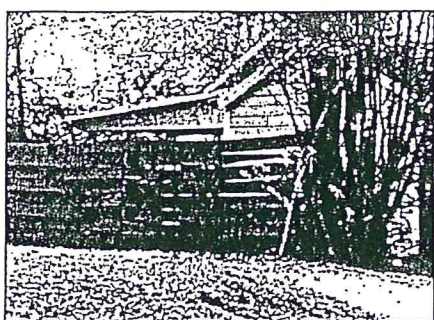
Inappropriately scaled street light.

## C. FENCES AND WALLS

### 1. Description



Twisted wire fencing.



Inappropriate residential fencing.

Fences and walls are important constructed features of the landscape that help define the context of the site for a historic building. Within a historic district, the repetition of fences or walls also provides a strong sense of continuity to the streetscape, and helps to define a pedestrian edge along the public sidewalk. Wood, cast iron, and wrought iron were all traditional fence materials, just as stone and brick were popular wall materials. The selection of material and design is also related to the architectural style of the house.

In the historic district, there are a variety of fence and wall types. Granite retaining walls are popular, as are picket fences and decorative brick walls. In all cases, the fences and walls generally follow the property line closely. In the event of a maintenance issue, it is always preferable to repair existing fences and walls, rather than replace them.

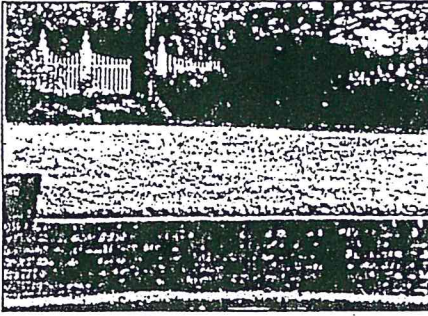
In order to review fence and wall proposals, the commission must have a site plan locating the fence or the wall configuration and a scaled elevation drawing or photograph/pamphlet showing the proposed fencing.

### 2. Suggested Maintenance

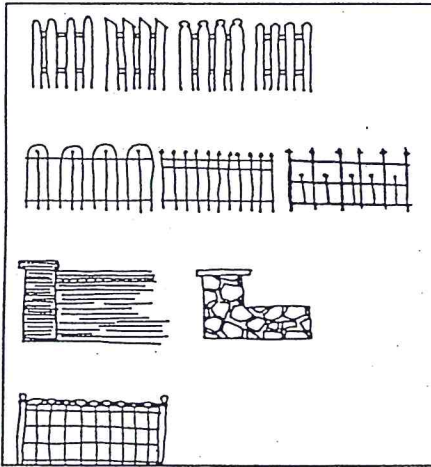
- In the event of a maintenance issue, it is always preferable to repair existing fences and walls, rather than replace them.
- Inspect fences regularly for signs of deterioration or moisture damage.
- Keep all joinery adequately sealed to avoid moisture damage.
- Follow the guidelines for maintenance of masonry, wood, or architectural metals where applicable.
- Remove any vegetation that is uprooting posts or causing other structural damage.
- Iron fences should be cleaned when needed with a wire brush and then primed immediately with a high quality metal primer before a finish coat is applied.

## 4. Fences and Walls--Guidelines

### Residential and Institutional



Brick wall.



Fence types.

1. Retain and preserve original fences and walls, including all architectural features that are character defining elements of original fences and walls, such as gates, granite pillars, hardware, decorative pickets, and rails.
2. Retain and preserve historic fence and wall material whenever possible. If replacement is necessary, use new material that matches the historic material in composition, size, shape, color, pattern, and texture. Consider substitute material only if the original material is not technically feasible.
3. If replacement of a fence or wall element is necessary, replace only the deteriorated element to match the original in size, scale, proportion, material, texture, and detail.
4. Applying paint or other coating to unpainted walls or fence materials that were not painted historically is not recommended.
5. If a new fence or wall is to be constructed, base the design on accurate documentation of a historic fence or wall, or create a new design compatible with the historic character of the building and district.
6. Generally, construct new fences or walls to follow property lines and not to abut existing buildings.
7. It is not appropriate for new fences to exceed a maximum height of forty-two inches in front yards or six feet in rear yards.
8. It is not recommended to add elements or details to a fence or a wall in an attempt to create an inappropriate historic appearance.
9. It is not recommended to use contemporary fence or wall materials, such as vinyl and chain link fence, that were not available historically and are inconsistent with the character of the historic district.

10. When possible, screen existing incompatible fences with vegetation such as vines, ivy, or shrubbery.
11. It is not recommended to use utilitarian fences in front yards. Use them only in rear yards, and ensure that they are screened from view.
12. It is not recommended to use privacy fences in front or side yards. Limit them to rear yard. If possible, use

### **Commercial**

1. Fences should only be used to screen mechanical equipment and garbage receptacles in the rear of commercial buildings.
2. In areas outside of downtown, fences and walls should be compatible with surrounding building materials, such as brick or stone, and should reflect the general character of the nearby building.

## **D. DRIVEWAYS, GARAGES, CARPORTS AND OFF-STREET PARKING**

### **1. Description**

The historic district was developed both before and after the large-scale introduction of the automobile. Therefore, some of the residences and institutional buildings originally were constructed with parking facilities on site, and other buildings have added parking in recent years. In the instances where parking facilities were integral in the original historic design, the driveways are narrow, reflecting the more narrow dimensions of earlier cars. The preservation of the configuration and materials of original driveways and parking areas is important in preserving the character of the district.

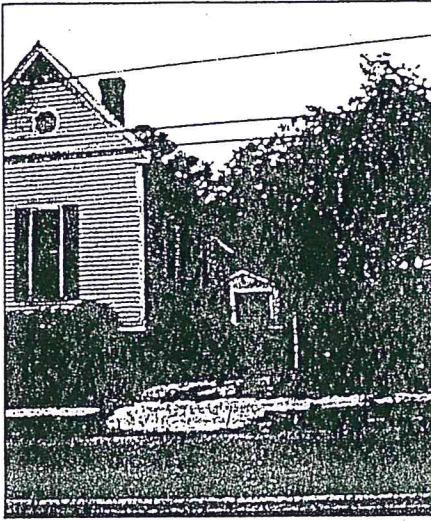
Proposals for new driveways or off-street parking must provide the commission with scaled site, plans, including landscape and ground-cover changes and information on proposed lighting.

### **2. Driveways, Garages, Carports, and Off-street Parking--Guidelines**

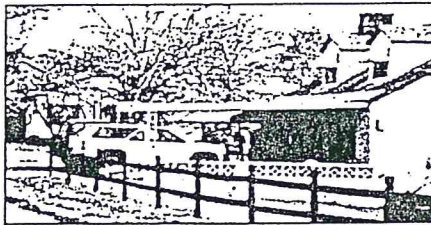
#### **Residential**

1. It is not recommended to create large off-street parking areas encompassing so much of the rear yard that the character of the site is lost.
2. It is not recommended to abut new garages or carports to the front or side of a residence so that the new building is visible from the street.
3. Place new garages and carports so that they are unobtrusive, and thereby do not detract from the district.

## Driveways, Garages, Carports, and Off-Street Parking--Guidelines (contented)



Historic garages.



Inappropriate carport addition.

### Residential and Institutional

1. It is not recommended to locate off-street parking in front yards.
2. It is not recommended to locate off-street parking in the side yard if the area would be visible from the street or the front yard.

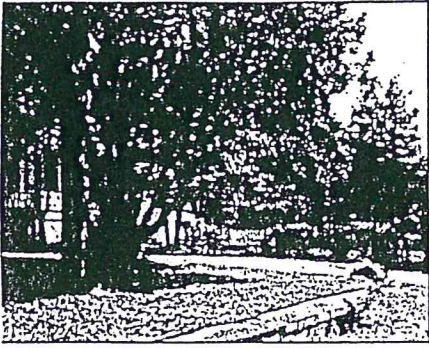
### Residential, Commercial and Institutional

1. Retain and maintain the historic configuration and materials of existing driveways and alleys whenever possible.
2. Construct new driveways to conform with the spacing, width, configuration and materials of existing driveways.
3. Locate new driveways so that a minimum of alteration to historic site features, such as landscaping, walkways, and retaining walls, is necessary. Avoid damage to historic curbs and sidewalks.
4. Use driveways and alleys to access side and rear parking areas and garages.
5. Locate new parking areas as unobtrusively as possible and in rear yards whenever possible.
6. For new parking areas, use paving material that is compatible with traditional paving materials for driveways in the district.
7. Incorporate existing mature trees into new parking areas whenever possible, and introduce new trees to maintain tree canopy.
8. It is not recommended to abut new driveways or parking areas directly to the principle structure.
9. In lighting parking areas, follow the guidelines for exterior lighting.
10. For nonresidential parking areas use lighting fixtures that turn off automatically after business hours, if possible.



## E. LANDSCAPE

### 1. Description



The historic district has evolved over a long period, and it is as important to preserve the landscape features from this evolution as it is to preserve the buildings. In preserving the landscape, several key elements must be addressed including the proportion of green space to built environment, the large old trees, and both the formal and informal character of many of the gardens located in the district.

Significant elements of landscape, including laws, mature trees, hedges, foundation plantings, fences, walls, ground cover, trellises, patios, terraces, fountains, and public and private gardens and parks, all contribute to the character of the specific site and the historic district as a whole. Consequently, the preservation of such elements is essential in preserving the historic character of the district. **The City of Washington Ordinance, Chapter 86, discusses vegetation and should be consulted when making any landscape decisions.**

### 2. Landscape--Guidelines

1. Retain and maintain landscape features that contribute to the character of the historic district.
2. Retain and maintain specific landscape features that are character-defining elements of the historic district, including large trees, hedges, foundation plantings, grassy lawns, ground cover, trellises, patios, terraces, fountains, parks, and gardens.
3. If it is necessary to remove a large tree or a hedge because of disease or storm damage, replace it with a new tree or hedge of the same species or with a similar appearance.



Commercial area in need of vegetative buffer.

**Landscape--Guidelines (continued)**

4. Retain and preserve ground-cover, such as brick or granite pavers. If replacement is necessary, attempt to use new materials that match the original found in the historic district. Gravel is not recommended as ground-cover, except on driveways or parking areas.
5. When introducing additional landscaping features, keep them consistent with the elements in the historic district.
6. When locating new landscape features, keep their locations consistent with the location of similar elements in the district.
7. Incorporate existing large trees and other significant landscape elements into plans for additions and new construction.
8. It is not recommended to alter the character of the historic district by significantly reducing the proportion of green area to build area on an individual lot through additions, new construction, or surface paving.
9. It is not recommended to install contemporary site features, such as transmission towers, swimming pools or decks, if the feature would compromise the historic character of the site or be visible from the street.
10. It is not recommended to introduce gazebos or play-ground equipment in front yards or front side yards.
11. Removal of a diseased, mature tree must be done in compliance with the City of Washington Vegetation Guidelines.

## F. ARCHAEOLOGY

### 1. Description

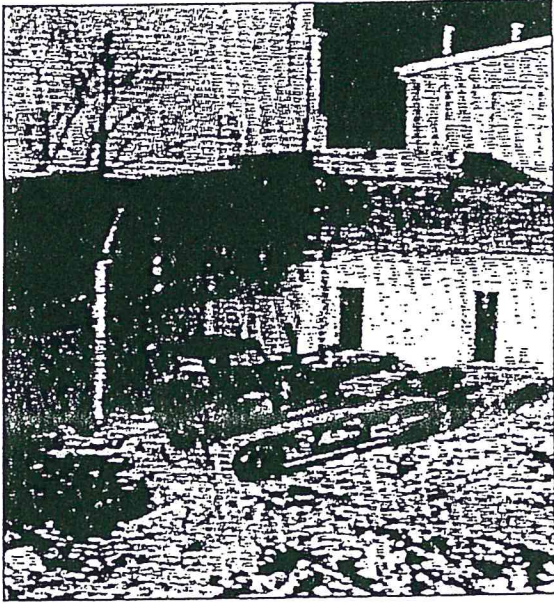
Archaeological resources include all material evidence of past human activity found below the surface of the ground. Occasionally, portions of such resources may also be visible above grade. Archaeological resources are at risk during any type of construction project including grading or regrading, and with the use of heavy equipment for additions, alterations, or new construction. It is important to investigate the presence of archaeological resources before beginning any major ground-disturbing work, including above or below ground projects. Staff at the Historic Preservation Division of the Georgia Department of Natural Resources is available for consultation or assistance if there is reason to believe that significant archaeological artifacts are present.

Archaeological resources can often reveal additional information about a historic property, including the location of previously existing garden features or outbuildings, and the like. Protecting archaeological resources by not disturbing them is the best means of preservation.

## 2. Archaeology--Guidelines

1. Retain and preserve known archaeological features that are important to the history of the site of the district.
2. Minimize disturbance of the terrain in the historic district to reduce the possibility of destroying unknown archaeological materials and habitation levels.
3. Protect in situ known archaeological materials whenever possible.
4. Undertake necessary investigations using professional archaeologists and contemporary methods when preservation in place is not possible.
5. It is not recommended to introduce heavy equipment or machinery on sites where their presence might disturb archaeological artifacts.

## V. DEMOLITION OR RELOCATION



## A. DEMOLITION OF BUILDINGS

### 1. Description

Demolition of a building in a historic district is a permanent step and should be carefully considered. In making the consideration on an application to demolish a structure, the commission will consider the following guidelines:

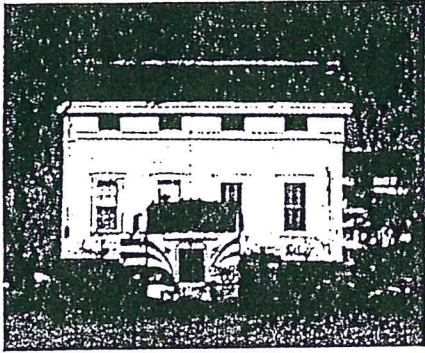
- The historic, scenic, or architectural significance of the building or structure.
- Whether the building or structure is one of the last remaining examples of its kind.
- Whether there are definite plans for reuse of the property if the proposed demolition is carried out, and what the effect of those plans on the character of the surrounding area would be.
- Whether reasonable measure can be taken to save the building from destruction or collapse.
- Whether the building or structure is capable of earning reasonable economic return on its value.

## 2. Demolition--Guidelines

1. When considering demolition, a property owner is encouraged to work closely with the Washington Historic Preservation Commission to review all alternatives to demolition.
2. If all alternatives are exhausted, then use the following guidelines for demolition:
  - Make a permanent record of the structure before demolition. This record should consist of photographs and other documents, such as drawings, that describe the architectural character of the building. The documentation should be submitted to the Historic Preservation Commission for review before the structure is to be demolished. The record will be retained by the City of Washington.
  - Property owners are encouraged to work with the commission to identify and save important architectural materials and to locate potential buyers of the salvaged pieces. It is suggested to remove salvageable pieces before the demolition.
  - All attempts should be made to clear the structure quickly and thoroughly.
  - Owners should submit to the commission site plans for proposed development after demolition.
  - Maintain the site appropriately until it is reused. If it is to remain open for over a year, it should be improved to appear consistent with other open sites in the historic district.

## B. RELOCATION OF BUILDINGS

### 1. Description



Relocation of a historic building.

Relocation of a building within a historic district should only be done after careful consideration of every available alternative. Relocating a building often results in a loss of integrity as the setting and location of the building are significantly altered. Moreover, relocation of a historic building listed on the National Register of Historic Places may result in its removal from the Register listing.

Thus, moving a building within the historic district should only be undertaken when based on thorough planning and when guidelines for architectural compatibility, siting, and orientation have been completely met.



## 2. Relocation--Guidelines

1. Document original site conditions before moving the building. Take photographs or use other graphics such as site plans to record the original.
2. Assess the structural condition of the building before moving.
3. Moving work should only be undertaken by contractors who have successfully relocated other historic buildings.
4. During the move, protect the building from weather, damage, and vandalism.
5. If the building is moved to a site within a historic district:
  - Assess compatibility of the moved building with the surrounding buildings according to the design guidelines for new construction in historic districts.
  - Review the siting and setback according to guidelines.Ensure that relocation will not cause damage to any surrounding buildings.

## VI. APPENDIXES

## **Appendix A: Sample Forms**

(to be added to by the Commission)

1. **Certificate of Appropriateness Application**  
(Two pages to be issued to applicant)
  
2. **Certificate of Appropriateness Form**  
(One page to be filled out by Commission following a hearing)

Application for Certificate of Appropriateness

to

Washington Historic Preservation Commission

I (we) the undersigned do hereby respectfully make application for a Certificate of Appropriateness for the following plans and proposals to be undertaken within the boundaries of the designated Washington Historic District.

Name of Property: \_\_\_\_\_

Property Owner: \_\_\_\_\_

Location of Property: \_\_\_\_\_

**TYPE OF WORK (CHECK)**

\_\_\_\_\_ Exterior Alteration or Repair

\_\_\_\_\_ New Construction

\_\_\_\_\_ Demolition of Structure

\_\_\_\_\_ Relocation of Structure

\_\_\_\_\_ Other \_\_\_\_\_

**See page 2 of this application for additional information to be submitted.**

Signature: Applicant \_\_\_\_\_

Address \_\_\_\_\_

Phone \_\_\_\_\_

**Return Application to :**  
**Washington Historic Preservation Commission**  
**City of Washington**  
**PO Box 9**  
**Washington, GA 30673**

The application, including all additional information must be filed not later than 30 days prior to the next regularly scheduled meeting of the Historic Preservation Commission. The Commission meets on the Third Tuesday of each month at 5:00 P.M., in the Council Room of City Hall, and is an open public meeting. Copies of all information submitted with an application must be retained by the Historic Preservation Commission.

Date Received by Commission \_\_\_\_\_

Date of Public Hearing \_\_\_\_\_

## **ADDITIONAL INFORMATION TO BE SUBMITTED WITH APPLICATION**

### **1. EXTERIOR ALTERATION OR REPAIR**

*Describe clearly and in detail all work to be done. Include the following items where appropriate:*

- A. Sketches, photographs, specification, manufacturer's illustrations or other description of proposed changes to the building facade or roof, new additions, or site improvements. Drawings will be required for major changes in design for such items as roofs, facades, porches, or prominent architectural features.
- B. Color of brick and type of mortar to be used for masonry work.
- C. Samples of proposed materials when the original material will not be retained.
- D. Site information including the location of all large trees, parking areas, walls, fences, outbuildings, or other landscape feature of note where major site improvements are proposed.
- E. Landscape plan with measured distances for new parking areas or other major site changes.

### **2. NEW CONSTRUCTION**

*Describe the nature of the proposed project. Include the following items where appropriate.*

- A. Site plan with measured distances.
- B. Elevation drawings of each facade and specifications which clearly show the exterior appearance of the project.
- C. Photograph of proposed site.
- D. Landscape plan.
- E. Samples or other description of materials to be used.
- F. Drawings or other description of site improvements: fences, walls, walks, lighting, pavement, patios, decks, etc.

### **3. DEMOLITION OF STRUCTURES**

- A. Describe the structure and give reason for demolition. Include a photograph.
- B. Describe the proposed reuse of the site, including landscaping.

### **4. RELOCATION OF STRUCTURES**

- A. Give the reason for relocation. Include a photograph. If the structure is to be relocated within the District, describe any proposed changes.
- B. Describe any site features which will be altered or may be disturbed, including foundation, walls, driveways, vegetation, etc.

## APPENDIX B: SUGGESTED READINGS

### National Park Service Publications

The National Park Service offers a series of leaflets, books, and briefs about appropriate preservation treatments. The Catalog of Historic Preservation Publications with all relevant ordering information may be obtained by writing to the National Park Service, Preservation Assistance Division, P.O. Box 37127, Washington, DC, 20013-7127.

### Other References

Bucher, Ward. *Dictionary of Building Preservation*. New York: John Wiley & Sons, Inc, 1996.

Henmi, Rod. *Choosing a Past to Construct a Future: Issues Concerning Historic Downtown Buildings*. Saint Louis, MO: University of Washington, 1980.

Kissane, John A. *Washington, Wilkes County, Georgia, Historic Resources Survey Report*. Washington, GA: Washington Historic Preservation Commission, 1998.

McAlester, Virginia and Lee. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 1984.

Morton, W. Brown, III, et al. *The Secretary of the Interior's Standards for Rehabilitation & Illustrated Guidelines for Rehabilitating Historic Buildings*. Washington, D.C.: National Park Service, U.S. Department of the Interior, 1992.

Moss, Roger W. *Century of Color: Exterior Decoration for American Buildings-1820/1920*. Watkins Glen, N.Y.: American Life Foundation, 1981.

-----and Gail C. Winkler. *Victorian Exterior Decoration: How to Paint Your Nineteenth-Century House Historically*. New York: Henry Holt and Co., 1987.

Poore, Patricia. *The Old-House Journal Guide to Restoration*. New York: Penguin Group, 1992.

Wood, Scott B. *The Impact of Fire Code Compliance in Historic Preservation: A Guide to Fire Code Compliance in the Adaptive Reuse of Historic Commercial Buildings*. 1989.

## APPENDIX C: RESOURCES FOR TECHNICAL INFORMATION

### Local Resources

Washington Historic Preservation Commission

P.O. Box 2

102 East Liberty Street

Washington, Georgia 30673

Ph: (706) 678-3277

Contact commission chair for information on local historic districts, certificates of appropriateness, and technical assistance.

### Regional Resources

Central Savannah River RDC

Historic Preservation Planner

P.O. Box 2800

Augusta, Georgia 30914-1800

Ph: (706) 677-4192 Fax: (707) 737-1459

### State Resources

Historic Preservation Division

Georgia Department of Natural Resources

500 The Healey Building

57 Forsyth Street, NW

Atlanta, GA 30303

Ph: (404) 656-2840 Fax: (404) 651-8739

For information on **historic structures** and the **National Register**, contact *Gretchen Kinnard* at (404) 651-6782,

For information on **preservation tax incentives** for historic preservation contact *Lee Webb* at (404) 651-5283.

For information on **archeological sites**, contact *Dave Crass* at (404) 656-9344

### National Resources

U.S. Department of Interior

National Park Service

1849 C Street NW NC330

Washington, DC 20240 Historic Preservation Services: (202) 343-9573

Southeast Regional Office of the National Park Service

75 Spring Street, SW

Atlanta, GA 30303

Ph: (404) 331-2632

## APPENDIX D: GLOSSARY

ARCHITRAVE - The lowest element in the entablatures of the Ionic and Corinthian columnar orders, with two or three stepped back faces, but by extension, the frame around windows, doors, and arches in Renaissance architecture.

BALUSTRADE - An entire rail system with top rail and balusters.

BAYS - Each individual space defined by a structural grid; includes, for example, the spaces between the bents of a timber frame barn, the rectangular space enclosed by four columns of a steel skeleton frame, and the spaces between piers of a bridge.

BRACKET - A projecting element of wood, stone, or metal which spans between horizontal and vertical surfaces as decorative support.

CASEMENT - A window sash hinged on one side so that it opens by swinging in or out.

CAST IRON - Iron shaped in a mold that is brittle, hard, and cannot be welded.

CERTIFICATE OF APPROPRIATENESS - Certificate issued by a preservation commission to indicate its approval of an application to alter, demolish, move or add on to a protected resource.

CERTIFIED LOCAL GOVERNMENTS - A city or town that has met specific standards enabling participation in certain National Historic Preservation Act programs.

CORNICE - Any projecting ornamental molding along the top of a wall, building, etc.

CUPOLA - A small structure projecting above a roof that provides ventilation or is used as a look-out.

CRESTING - Decoration in the form of a series of ornate, pointed shapes located at the top of a parapet or roof ridge.

DESIGNATION - Act of identifying historic structures and districts subject to regulation in historic preservation ordinances or other preservation laws.

DIRECTIONAL LIGHTING - A large source of light directed at a specific point.

DORMER - A small structure that projects from a sloping roof, with a window in the downslope end; may have a gabled, shed or other shaped roof.

ELEVATION - The height of a façade of a building.

ENTABLATURE - The horizontal part of an architectural order supported on columns, composed of architrave, frieze, and cornice.



FAÇADE - The front wall of a building, or the wall in which the principal building entrance is located, especially when highly ornamented.

FENESTRATION - The arrangement of windows in a building façade.

FOUNDATION PLANTING - Small-scale landscaping along the base of a building.

GABLE - The end wall of a house having a pitched or gabled roof.

HIGH STYLE - The more ornately detailed version of an architectural style.

HIP ROOF - A roof with four uniformly pitched sides.

INFILL - The development of real estate on land between or adjacent to existing buildings.

JOINT - The place where two or more separate elements come together.

LINTEL - A structural beam spanning over a door or window opening, or a facing, such as architectural terra cotta, that appears to be a structural beam.

MASSINNG - The overall composition of the exterior of major volumes of a building.

MORTAR - The material used to fill the joints of masonry.

NATIONAL PARK SERVICE (NPS) - A bureau of the U.S. Department of the Interior whose purview includes the historic and cultural resources in the National Parks system.

NATIONAL REGISTER OF HISTORIC PLACES - A list of U.S. places of significance in American history, architecture, archeology, engineering and culture on a national, state, or local level; places may be a district, site, building, structure or object.

ORIENTATION - The way in which a building's front facade relates to the street.

PAVER(S) - A thin block of stone, brick, tile, asphalt, or similar material used for pavement.

PEDIMENT - A triangular crowning element forming the gable of a roof; any similar triangular element used over windows, doors, etc.

PILASTER - A square pillar attached, but projecting from a wall, resembling a classical column.

POST-MOUNTED LIGHT FIXTURE - A lighting source mounted atop a high post used generally for commercial or industrial use.

PRESSED METAL - Thin sheets of metal molded into decorative designs and used to cover exterior surfaces.

**PRESERVATION** - The protection of a material from physical deterioration or disintegration because of natural elements or human activity by various technical, scientific, and craft techniques.

**PROJECTION** - The extension of a molding, section of wall or other architectural feature past the main surface of a wall or column.

**PROPORTION** - Harmonious relation of parts to one another or the whole.

**QUOIN** - A large rectangular block of stone used to physically and aesthetically fix an outside corner of building; typically a toothed form with alternate quoins projecting and receding from the corner.

**REGRADING** - Moving earth to alter the natural terrain.

**REHABILITATION (REHAB)** - To repair an existing building to good condition with minimal changes to the building fabric.

**RENOVATION** - The process of repairing and changing an existing building for modern use, so that it is functionally equal to a new building.

**RETROFIT** - To furnish a building with new or modified parts or equipment not available or considered necessary at the time of manufacture.

**RESTORATION** - The process or product of returning, as nearly as possible an existing site, building, structure, or object to its condition at a particular time in its history, using the same construction materials and methods as the original where possible.

**RHYTHM** - The relationship of solids to voids either on the façade of a building or may be applied to an entire street.

**SASH** - A frame in which the panes of a window are set.

**SAWNWORK** - Building ornamentation made from decoratively sawn wood.

**SCALE** - The overall height and width of a building.

**SET BACK** - The distance required between a building and the property line.

**SHOTGUN HOUSE** - A vernacular house, often constructed on a small parcel of land. It is one room wide and several rooms deep.

**SIDING** - The exterior wall covering or sheathing of a structure.

**SILL** - The projecting horizontal base of a window or door.

**SISTERING** - New wood attached alongside the old for support.

**SITE PLAN** - A graphic representation of a building on its land.

**SPLICING** - A new piece of wood, inserted to replace a damaged section.

STUCCO - Plaster applied on the exterior of a building.

TERRA COTTA - Fired ceramic clay, especially when used for architectural elements.

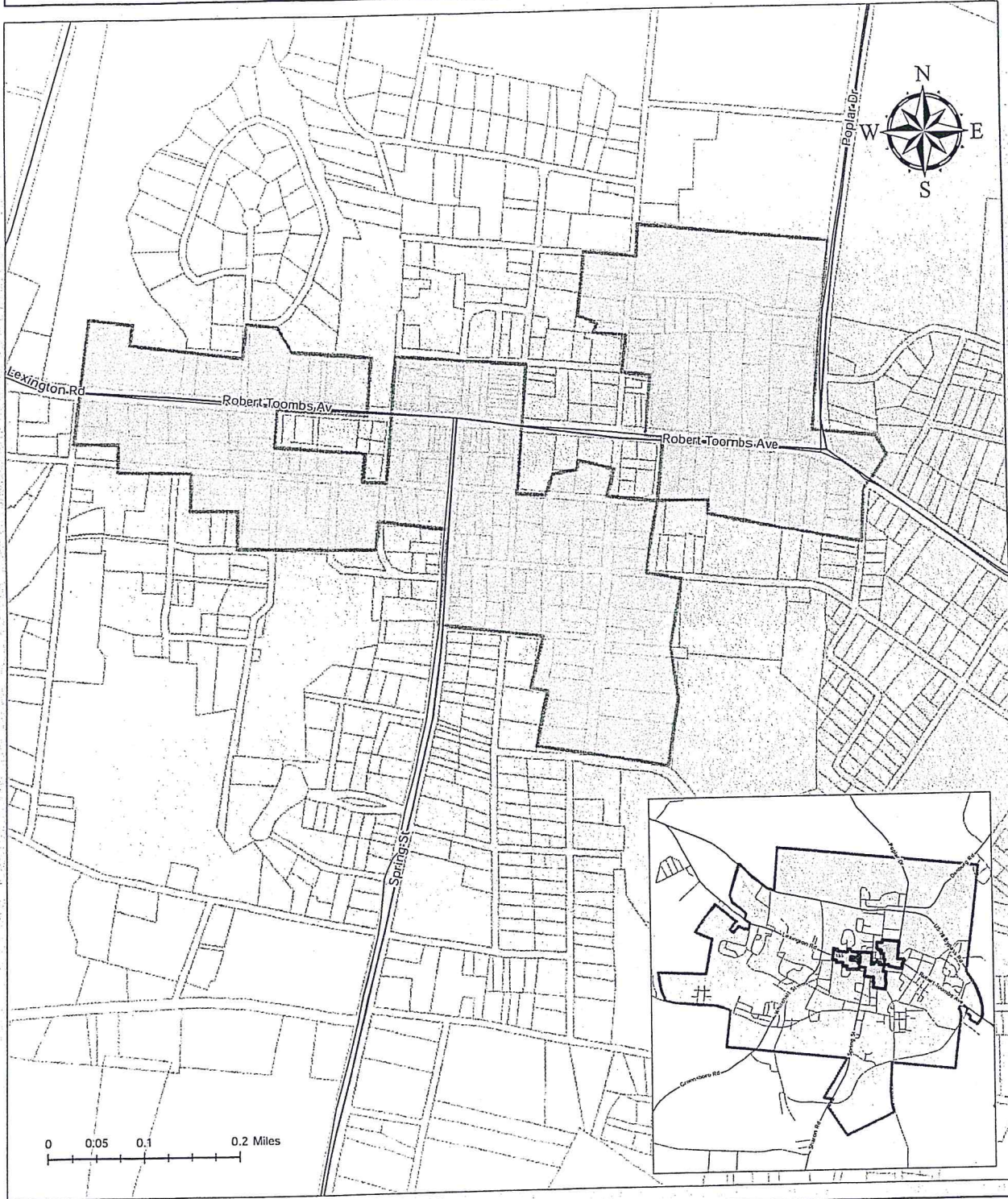
THRESHOLD - The saddle of an exterior door, or a similar element that separates the floor finishes on either side of an exterior door.

VERANDAH - An open-sided, raised sitting area with thin columns that support its roof.

VERNACULAR BUILDING - A building built without being designed by an architect or someone with similar formal training; often based on traditional or regional forms.

VISTA - A distant view, especially when focused by parallel elements such as a lane bounded by trees.

WROUGHT IRON - Iron with a small amount of carbon used for decorative hardware and ironwork, and in North America beginning early 19c. for structural components.



Central Savannah River Area  
Regional Development Center  
GIS Department  
3023 River Watch Parkway, Suite A  
Augusta, GA 30907-2016  
[www.csrardc.org](http://www.csrardc.org)









Legend

- |  |                         |  |               |
|--|-------------------------|--|---------------|
|  | Local Historic District |  | Washington    |
|  | Parcels                 |  | Wilkes County |



Central Savannah River Area  
 Regional Development Center  
 GIS Department  
 3023 River Watch Parkway, Suite A  
 Augusta, GA 30907-2016  
[www.csrardc.org](http://www.csrardc.org)

Legend

- |   |                     |   |                             |
|---|---------------------|---|-----------------------------|
|  | Wilkes County       |  | West Robert Toombs District |
|  | Washington          |  | North Washington District   |
|  | Parcels             |  | East Robert Toombs District |
|  | Commercial District |  | Washington District         |

AN ORDINANCE BY THE CITY OF WASHINGTON TO AMEND CHAPTER 42 OF  
THE CODE OF ORDINANCES OF WASHINGTON, GEORGIA TO AUTHORIZE  
THE HISTORIC PRESERVATION COMMISSION TO PROTECT HISTORIC  
BUILDINGS AND STRUCTURE FROM DEMOLITION BY NEGLIGENCE.

WHEREAS, the City of Washington, Georgia (hereinafter "the City") has adopted the Southwest Washington Urban Redevelopment Plan (hereinafter "the Plan") to rehabilitate and redevelop designated areas in the City in the interest of public health, safety, morals, and the general welfare of the City's residents;

WHEREAS, one goal of the Plan is to abate nuisance properties located in the City;

WHEREAS, the City also desires to protect historic buildings and structures from demolition by neglect;

WHEREAS, the City desires to authorize the Historic Preservation Commission to monitor and take corrective action, when necessary, to protect historic structures within the City's historic district;

NOW, THEREFORE, the Mayor and Council of the City of Washington, Georgia hereby ordains:

I.

The Code of the City of Washington, Georgia Sec. 42-34 is hereby amended so that it reads as follows:

Sec. 42-34. Powers.

The historic preservation commission shall be authorized to:

- (1) Prepare an inventory of all property within its respective historic preservation jurisdiction having the potential for designation as historic property.
- (2) Recommend to the mayor and council specific places, districts, sites, buildings, structures or works of art to be designated by ordinance as historic properties or historic districts.
- (3) Review applications for certificates of appropriateness for local areas or districts and grant or deny or modify the applications in accordance with the provisions of this article.
- (4) Monitor the condition of historic structures within a historic district to determine if they are being allowed to be demolished by neglect.
- (5) Recommend to the mayor and council that the designation of any place, district, site, building, structure, or work of art as an historic property or as an historic district be revoked or removed.

- (6) Restore or preserve any historic properties acquired by the city. Any expenditure of funds for such purpose must be approved by the mayor and council prior to their being spent.
- (7) Promote the acquisition by the city of facade and conservation easements in accordance with the Facade and Conservation Easements Act of 1976 (O.C.G.A. §§ 44-10-1--44-10-8).
- (8) Conduct an educational program on historic properties located within its historic preservation jurisdiction.
- (9) Make such investigations and studies of matters relating to historic preservation as the mayor and council or the commission itself may, from time to time, deem necessary or appropriate for the purpose of preserving historic resources. Report all such findings to the mayor and council.
- (10) Seek out state and federal funds available for historic preservation and advise the mayor and council of their findings and make recommendations to the mayor and council in order for the mayor and council to make decisions as to the applicability of the commission applying for such funds on behalf of the city.
- (11) Submit to the historic preservation section of the department of natural resources a list of the historic properties or historic districts designated by ordinance.
- (12) Perform historic preservation activities as the official agency of the city's historic preservation program.
- (13) Employ persons with the approval of the mayor and council, if necessary, to carry out the responsibilities of the commission.
- (14) Receive donations, grants, funds or gifts of historic property, and to acquire and sell historic properties; however, the commission shall not obligate the city without prior consent.
- (15) Review the nomination of historic properties or historic districts to the National Register of Historic Places and Georgia Register of Historic Places and make comments upon such nominations to the historic preservation section of the department of natural resources with the approval of the property owner and the mayor and council.
- (16) Exercise all other powers implicit or explicit in any other provision of this article.

(Code 1989, § 9.1-24(d); Mo. of 12-13-99)

## II.

The Code of the City of Washington, Georgia is hereby amended by adding a section to be numbered Sec. 42-39, with said section reading as follows:

Sec. 42-39. Demolition by neglect prohibited.

Property owners of historic properties or buildings in historic districts shall not allow their buildings to deteriorate or be demolished by neglect. Demolition by neglect can result in the loss of valuable portions of the City's heritage as well as being a hazard to public safety and a public nuisance. The historic preservation commission is authorized and charged with the following duties and responsibilities regarding demolition by neglect:

(1) The historic preservation commission will monitor the condition of landmarks and existing buildings in historic district to determine if they are being allowed to be demolished by neglect. Such conditions as the existence of broken windows, doors and opening which allow the elements and vermin to enter the structure, the deterioration of existing architectural features, and the deterioration of a building's structural system shall constitute demolition by neglect, and thus a nuisance.

(2) In the event the historic preservation commission determines a state of demolition by neglect exists, the commission will notify the owner and/or occupant of such property in writing, certified or registered mail return receipt requested, of the existence of a condition and the steps which need to be taken to remedy it. The owner and/or occupant of such property shall have 90 days from receipt of the written notice to remedy the condition to the satisfaction of the historic preservation commission.

(3) In the event that the condition is not remedied in 90 days the building official *may* initiate appropriate legal action pursuant to Chapter 38 of this Code to correct the state of demolition by neglect.

#### VI.

The sections, paragraphs, sentences, clauses or phrases of this Ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this Ordinance shall be declared illegal by the valid judgment or decree of any court of competent jurisdiction, such illegality shall not affect any of the remaining phrases, clauses, sentences, paragraphs and sections of this Ordinance.

#### VII.

All ordinances and parts of ordinances in conflict herewith are hereby expressly repealed.

#### VIII.

The adoption date of this ordinance is \_\_\_\_\_.

#### IX.

The effective date of this ordinance is \_\_\_\_\_.

\_\_\_\_\_  
Debbie Danner, Clerk

\_\_\_\_\_  
W.E. Burns, Mayor

\_\_\_\_\_  
Date

\_\_\_\_\_  
Date